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**AGENDA  
GREENWOOD PLANNING COMMISSION**

**Date:** Wednesday, June 10, 2020  
**Location:** Deephaven Council Chambers, 20225 Cottagewood Road  
**Time:** 7:00 PM

1. CALL TO ORDER – ROLL CALL – APPROVE AGENDA
2. MINUTES OF REGULAR MEETING – May 13, 2020
3. PUBLIC HEARINGS

**3a. Variance request to exceed the side yard and front yard setback requirements, exceed the impervious surface and wall height limits, and the number of trees removed for the property located at 5270 Meadville Street.**

4. OLD BUSINESS
5. NEW BUSINESS
6. LIAISON REPORT
7. ADJOURN

Next City Council Meeting – Tuesday, July 7, 2020  
Next Planning Commission Meeting – Wednesday, July 8, 2020

Greenwood Planning Commission  
Wednesday, May 13, 2020  
7:00 P.M.

**1. CALL TO ORDER/ROLL CALL**

Acting-Chair Steingas called the meeting to order at 7:05 p.m.

Members Present: Commissioners Kelsey Nelson, David Steingas, Julie Getchell

Members Absent: Chair Lucking

Others Present: Planning Director Patrick Smith and Council Liaison Kristi Conrad

**2. MINUTES**

- a) March 11, 2020 - Motion by Getchell to approve the minutes as written. Motion was seconded by David Steingas. Motion carried 4/0.
- b) April 8, 2020 – Planning Commission meeting canceled

**3. PUBLIC HEARINGS**

**3a. Consider the variance request of Rane Jacobus to exceed the side yard setback requirement for the placement of an air conditioning unit for the property located at 5290 Meadville Street.**

Smith presented the staff report. The City Council approved a variance to encroach 4.2 feet into the south side yard setback and a variance to encroach 4.1 into the north side yard setback. With the two approved variances, the new house is close to completion and is setback 3.9 feet from the north and south property lines, which prohibits the placement of an air conditioning unit without getting a variance for the five-foot setback requirement. Rane Jacobus is requesting a variance to install an air conditioning unit on the south side of her house which would encroach into the minimum required setbacks for air conditioning units.

Steingas believes that the homeowner made the decision of placing the new house in its location.

Getchell asked if located on the front or back would require a variance. Smith noted that the AC unit could be placed behind the house but would probably be blocking a window, and could be placed in front of the house but would still need a setback variance from the side property line.

Conrad noted that she has concerns with the access to the rear of the yard.

Steingas opened the public hearing.

Jacobus, property owner, addressed the Planning Commission. The new house that she built is six feet more narrow than the previous house in order to move the house away from the residential property to the north. There would be at least two feet between the AC unit and the property line to the south.

Smith corrected the existing setbacks because the house is constructed at an angle to the south property line. Towards the rear of the house, the house is setback 3.9 feet from the south property line. Towards the front of the house, the house is setback 4.1 feet from the south property line. Therefore, the request is for two feet between the AC unit and the south property line.

Jeff Solum, 5280 Meadville Street, addressed the Planning Commission. The AC unit on the previous house was on the east side.

Maureen Burnss, 5080 Meadville Street, addressed the Planning Commission.

Steingas closed the public hearing.

Getchell stated that if the business owner on the south does not have an issue, then the variance is a minor and reasonable request.

Nelson appreciates the AC unit is on the south side of the house and is the best solution.

Steingas stated that there are options on the front and rear sides of the house for the AC unit. Steingas recommends putting the AC unit in the garage.

Motion by Steingas to recommend approval of a one-foot setback variance for placement of an air conditioning unit at 5290 Meadville Street. Seconded by Getchell. Motion carried 2/1. Nelson voted nay because the motion was not the suggested by the applicant and thought locating the AC unit on the southside of the house is reasonable.

**3b. Consider an amendment to the Conditional Use Permit for Alvin E. McQuinn for grading at 4900 Meadville Street.**

Smith presented the staff report. the City Council approved a Conditional Use Permit to alter the site by more than 1 foot in a 300-square-foot area for the subject property. One of the conditions of the Conditional Use Permit was that the applicant remove the catch basin along Meadville Street. The applicant has designed an alternative grading plan that keeps the catch basin in place. The revised grading plan creates a swale along the north side of Meadville Street. If the existing catch basin is ever clogged with leaves or debris the stormwater will flow through the new swale and out down to Lake Minnetonka. The City Engineer has reviewed and approved the grading plan.

Steingas opened the public hearing. Justin Jacques, representing the applicant, addressed the Planning Commission. Jacques stated that the revised grading plan is an improvement for the neighboring property owners.

Bob Sevey, 4926 Meadville Street, addressed the Planning Commission. Sevey is concerned with the level of their basement door in relation to the new grading of the subject site.

Steingas closed the public hearing.

Nelson felt good about the plan. Getchell thinks it is an improvement. Steingas stated the proposed plan is better for the Sevey property.

Motion by Steingas to recommend approval of the Conditional Use Permit as proposed for the property located at 4900 Meadville Street as conditioned by staff. Seconded by Nelson. Motion carried 3/0.

**3c. Consider amending the zoning ordinance regarding construction hours.**

Smith presented the staff report. Nelson asked if this is brought about because of the Coronavirus issue. Conrad stated that this has been a longer complaint. Steingas stated that most builders already follow the proposed schedule. Motion by Steingas to recommend approval of the construction hours. Seconded by Nelson. Motion carried 3/0.

**4. NEW BUSINESS**

None

**5. LIAISON REPORT**

Kristi Conrad provided a brief update on the proposed landscaping ordinance. Council changed some of the proposed language and directed it to go back to the Planning Commission for their review and comment.

**6. ADJOURN**

Motion by Getchell to adjourn the meeting. Steingas seconded the motion. Motion carried 3-0. The meeting was adjourned at 8:40 p.m.

Respectively Submitted,  
Patrick Smith, Planning Director



**Agenda Item:** Public Hearing to consider the variance requests of Colin Sievers to encroach into the front and side yard setbacks, exceed the maximum wall height, remove more than 20% of the trees, and to exceed the hardcover percentage in conjunction with the construction of a new house located at 5270 Meadville Street.

**Summary:** Colin Sievers, property owner, is proposing to raze the existing house and are requesting three variances to build a new house on the property. The property is zoned R-1, is 12,396 square feet in area and is 50 feet wide. The existing house, built in 1915 according to Hennepin County records, predates the City’s Zoning Ordinance and is nonconforming in terms of front yard and side yard setbacks and hardcover. The proposed layout will orientate the house in the middle of the site and significantly improved the north side yard setback while slightly increasing the nonconforming front yard setback and total hardcover.

The table below compares the required, existing and proposed setbacks, hardcover and building height.

	Permitted/Required	Existing	Proposed
Front Yard Setback	30 feet	29.7 feet	<b>26.8 feet</b>
Side Yard Setback (north)	10 feet	0 feet	<b>8 feet</b>
Side Yard Setback (south)	10 feet	22 feet	10 feet
Lake Yard Setback	50 feet	60 feet	52.5 feet
Impervious Area (max.)	32.67%	36.8%	<b>39.6%</b>
Building Volume (max.)	43,962 CF	unknown	41,008 CF
Building Height (max.)	28 feet	23 feet	24.1 feet

**Side Yard Setback**

The zoning code requires side yard setbacks of 10 feet for the 50-foot wide lot. The house is proposed to have a 10-foot side yard setback to the south property line, and an 8-foot side yard setback to the north property line. The existing house has a zero side yard setback on the north side.

The proposed house is 32 feet wide for the main portion of the house, with a two-foot bumpout on the north side. Only a small portion of the house will be setback the eight feet from the north property line. Only a portion of the first floor encroaches two feet into the north side yard setback.

The proposed house is a significant improvement over existing conditions.

**Front Yard Setback**

The zoning code requires a 30-foot front yard setback. The existing house is nonconforming with a 29.7-foot front yard setback. The applicant is proposing a setback of 26.8 feet resulting in an encroachment of 3.2 feet. Because the front property line is an angle, only two points of the house encroach into the 30-foot front yard setback. The applicant’s architect developed a diagram that shows how minimal the encroachments are for both the front yard and side yard (Exhibit C).

**Building Wall Height**

Section 1120.20 of the zoning code limits the wall height of a principal structure to 1.5 times the applicable side yard setback distance. For example, the maximum wall height for a principal structure located 15 feet from the side property line is 22.5 feet. Exhibit D of the applicant’s plans shows the wall heights of the proposed house. The projection on the north side of the house, which is setback eight feet from the north property line, meets the wall height requirement. The rest of the house, however, on the north side is setback 10 feet and exceeds the 15-foot wall height limit by 4 feet/1 inch. The proposed wall heights are similar to the wall heights of the recent house addition to the north.

### **Hardcover Percentage**

The zoning code limits the impervious area for a property of this size to 32.7%. Currently, the site has a hardcover of 36.8%. The existing house, constructed in 1915, has a one-car garage with a narrow driveway. The proposed deck, house and driveway result in a hardcover of 39.6%, an increase of 2.8% over existing conditions. A second stall garage with the associated driveway adds 641 square feet of hard cover, which represents a hardcover increase of 8.7%.

### **Trees**

There are six significant trees on the site. The applicant is proposing to remove two of the six significant trees on site. The propose trees to be removed are the 8" Norway maple near the front of the proposed house and the 12" pine tree near the southwest corner of the proposed house. The applicant plans to revise the deck in order to preserve the 20" burr oak tree to the rear of the proposed house.

### **Building Volume**

The subject property is 7,327 square feet in size. The proposed house would have an above grade building volume of 41,008 cubic feet. Maximum allowable building volume for the property is 43,962 cubic feet.

For the sake of comparison, some similar properties in Greenwood that have recently been reviewed by the City Council: 5130 Meadville (Krezowski): Lot size - 7,113. Max building volume - 42,678. Permitted building volume - 43,589 5260 Meadville (Kroening): Lot size – 7,234. Max building volume – 43,404 Permitted building volume - 48,215 5185 Greenwood Circle (Getchell): Lot size - 6,478. Max building volume – 38,868. Permitted building volume – 36,503 (No variance requested.)

Even though the subject property is larger than the properties at 5130 Meadville and 5260 Meadville, the proposed house is smaller than the houses constructed at 5130 and 5260 Meadville Street.

### **VARIANCE REVIEW CRITERIA**

Minn. Stat § 462.357, subd. 6(2) requires the City's Board of Appeals and Adjustments evaluating a variance request to make the following inquiries:

#### ***Is the variance in harmony with the purpose and intent of the ordinance?***

Staff Comment: The applicant has designed a modest-size house, smaller than recent houses built on smaller lots along Meadville Street. The proposed encroachments are minor and remain in harmony with the purpose and intent of the ordinance.

#### ***Is the variance consistent with the comprehensive plan?***

Staff Comment: The request is consistent with the Comprehensive Plan, which encourages, safe, healthy, and quality housing that respects the natural environment of the community.

#### ***Does the proposal put property to use in a reasonable manner?***

Staff Comment: The hardcover increase is due solely to adding a second car garage. A two-car garage is a reasonable use in Greenwood. In addition, the house at 41,008 cubic feet is smaller than recent houses constructed on smaller lots along Meadville Street. Finally, the front and side yard encroachments are minimal projections of the house.

#### ***Are there unique circumstances to the property not created by the landowner?***

Staff Comment: Yes. At 50 feet wide, it is extremely challenging to have a two-car garage with an attractive street presence within the 30 feet that is allowed by the zoning ordinance. The requested variances result in a house design that will be more attractive for the community than if the house strictly met the zoning code regulations.

#### ***Will the variance, if granted, alter the essential character of the locality?***

Staff Comment: No, the proposal would not alter the essential character of the locality. The proposed project is of a scope and scale comparable to the existing conditions on neighboring properties. The proposed wall heights are similar to the wall heights of the recent house addition to the north.

### **PUBLIC COMMENT**

Staff sent a public notice to all property owners within 350 feet of the subject site prior to the Planning Commission meeting of June 10, 2020. No comments had been received by the time the Planning Commission packet was sent out on June 5, 2020.

### **STAFF RECOMMENDATION**

20225 COTTAGEWOOD RD, DEEPHAVEN, MN 55331 • P: 952.474.6633 • F: 952.474.1274 • [www.greenwoodmn.com](http://www.greenwoodmn.com)

The proposed house eliminates a significant non-conforming side yard setback while proposing a relatively modest house with small projections of the house encroaching into the required front and side setbacks.

Staff recommends **approval** of the variance requests of Colin Sievers to encroach 2 feet into north side yard setback, 3.2 feet front yard setback, exceed the maximum required impervious surface percentage by 7%, exceed the maximum building height by 4.1 feet, and exceed the number of trees allowed to be removed for a new house located at 5270 Meadville Street, as proposed, with a condition that the deck be redesigned to save the 20-inch oak tree and a tree replacement plan meeting zoning ordinance requirements be submitted prior to City Council review of the variance requests.

**Attachments:**

- 1) Variance Application
- 2) Location Map
- 3) Existing photos
- 4) Existing Survey
- 5) Proposed Survey
- 6) Building Perspectives
- 7) Building Plans
- 8) Engineering Memo
- 9) Public Comments

**Key Dates:**

Application complete:	<del>May 20, 2020</del>
Notice of Public Hearing published:	<del>May 28, 2020</del>
Planning Commission Public Hearing:	June 10, 2020
City Council Consideration:	July 7, 2020
60-Day Deadline:	July 18, 2020
120-Day Deadline:	September 16, 2020

# Location Map - 5270 Meadville St



03/20/2015 - 06/09/2015



5270

VINTAGE  
852-472-0401  
www.vintagewaste.com









HALQUIST  
STONE  
FOL BURY LEDGE THIN  
0 116936

626  
om

**LEGAL DESCRIPTION:**

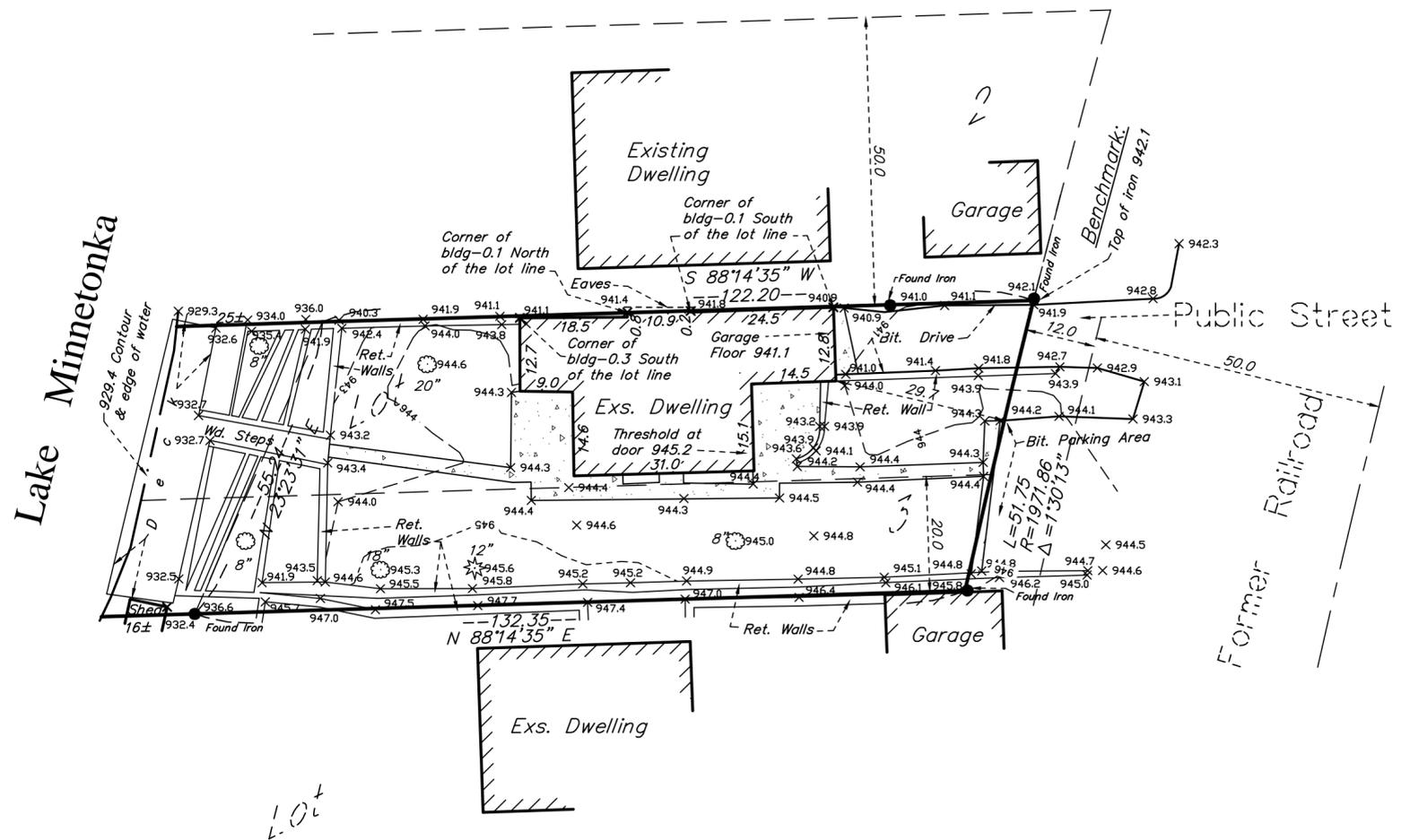
That part of Lot 2, lying South of the North 50 feet thereof; also the northerly 20 feet of Lot 3, SOLBERG'S POINT, Hennepin County, Minnesota.

**SCOPE OF WORK & LIMITATIONS:**

1. Showing the length and direction of boundary lines of the legal description listed above. The scope of our services does not include determining what you own, which is a legal matter. Please check the legal description with your records or consult with competent legal counsel, if necessary, to make sure that it is correct and that any matters of record, such as easements, that you wish to be included on the survey have been shown.
2. Showing the location of observed existing improvements we deem necessary for the survey.
3. Setting survey markers or verifying existing survey markers to establish the corners of the property.
4. Showing and tabulating impervious surface coverage of the lot for your review and for the review of such governmental agencies that may have jurisdiction over these requirements to verify they are correctly shown before proceeding with construction.
5. Showing elevations on the site at selected locations to give some indication of the topography of the site. We have also provided a benchmark for your use in determining elevations for construction on this site. The elevations shown relate only to the benchmark provided on this survey. Use that benchmark and check at least one other feature shown on the survey when determining other elevations for use on this site or before beginning construction.
6. This survey has been completed without the benefit of a current title commitment. There may be existing easements or other encumbrances that would be revealed by a current title commitment. Therefore, this survey does not purport to show any easements or encumbrances other than the ones shown hereon.
7. Note that all building dimensions and building tie dimensions to the property lines, are taken from the siding and or stucco of the building.

**STANDARD SYMBOLS & CONVENTIONS:**

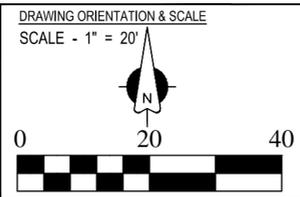
"●" Denotes iron survey marker, set, unless otherwise noted.



EXISTING HARDCOVER	
House	1,156 Sq. Ft.
Existing Deck	496 Sq. Ft.
Bituminous Driveway	328 Sq. Ft.
Neighbor's Shed	14 Sq. Ft.
Concrete Surfaces	705 Sq. Ft.
Ret. Walls	554 Sq. Ft.
<b>TOTAL EXISTING HARDCOVER</b>	<b>3,253 Sq. Ft.</b>
AREA OF LOT TO OHW	7,327 Sq. Ft.
<b>PERCENTAGE OF HARDCOVER TO LOT</b>	<b>44.4%</b>

LEGEND	
	= CATCH BASIN
	= FIRE HYDRANT
	= POWER POLE
	= MANHOLE
	= TELEPHONE PED.
	= ELEC. TRANSFORMER
	= WELL
	= GATE VALVE
	= LIGHT POLE
	= TREE
	= FENCE LINE
	= SANITARY SEWER LINE
	= WATER LINE
	= GAS LINE
	= STORM DRAIN LINE
	= OVERHEAD UTILITY LINE
	= CONCRETE SURFACE

DATE	REVISION DESCRIPTION



CLIENT NAME / JOB ADDRESS  
**TAMMY MAGNEY**  
5270 MEADVILLE STREET  
GREENWOOD, MN

**Advance**  
Surveying & Engineering, Co.  
17917 Highway 7  
Minnetonka, Minnesota 55345  
Phone (952) 474-7964  
Web: www.advsur.com

I HEREBY CERTIFY THAT THIS PLAN, SURVEY OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.  
Thomas M. Bloom  
# 42379  
LICENSE NO.  
JULY 3, 2018  
DATE

DATE SURVEYED: JUNE 29, 2018  
DATE DRAFTED: JULY 3, 2018

SHEET TITLE  
**EXISTING CONDITIONS SURVEY**  
DRAWING NUMBER  
180601 TB

SHEET SIZE 17 X 22  
SHEET NO.  
**S1**  
SHEET 1 OF 1

VARIANCE SUBMITTAL  
MAY 15, 2020

**SIEVERS HOME**

5270 MEADVILLE STREET, GREENWOOD, MN

# TABLE OF CONTENTS

- Narrative, Plans and Images
- Variance Request
- Neighborhood Plan Study Exhibit A
- Neighborhood Elevation Study Exhibit B
- Site Plan, Hardcover, Volume, Setbacks Exhibit C
- Wall Height Exhibit D
- Attachment, full set of pre-construction plans

## NEW HOME

5270 Meadville Street, Greenwood, MN 55331

Owner: Colin Sievers

### Lot and Home Facts:

- Site is a small 50' wide x 122' long lot for a total of 7327 SF
- House is 1121 SF Main Level + 540 SF Garage, Total Foundation Footprint 1761 SF

### Study:

The first approach was to remodel the existing home. See site study Exhibits A and B. The location of the house on the property did not fit within the city's ordinance intent for Greenwood, the structural integrity for the existing foundations and the accessibility of the lower level garage were all key factors in choosing to build new. In lieu of remodeling the current house which sits on the north property line, this proposal will demo the existing house and center the house on the lot which in early meetings with the city planner was encouraged.

### Design:

The home is a two-story warm, contemporary Scandinavian-style design featuring an efficient open floor plan to create a more spacious feel. Both the main and upper floors open up to outdoor living spaces that celebrate the location and spectacular views of Lake Minnetonka. The allowable area within the setback grants living space, eating space, kitchen, mudroom and two-car garage on the main level. Three primary bedrooms are located on the second floor, with guest bedrooms and gathering area on the below-grade lower level, which utilizes window wells for natural daylighting.

### Project Understanding: Greenwood Ordinances

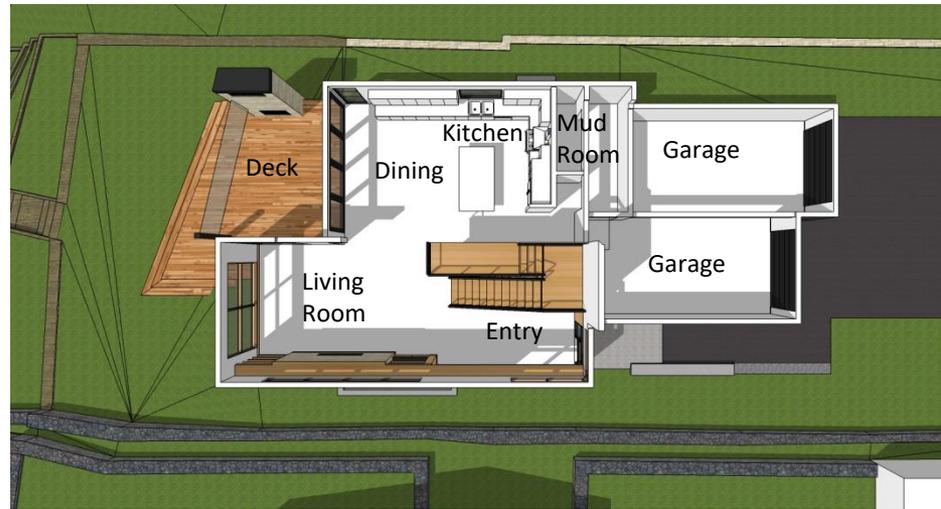
Throughout the entire planning and design process, the Owner has been very mindful of the vision set forth by the City of Greenwood to *"preserve and enhance the quality of residential neighborhoods"* and shares in the belief that the *"unique character of the residential neighborhoods in Greenwood rests largely on the diversity of style and design of houses as well as the general uniformity in the scale of houses located on similarly sized lots in neighborhoods throughout the community."* The overall style and design of the home reflect not only the Owner's dream for a future home on Lake Minnetonka, but also that of Greenwood's desire for unique homes that respect the neighborhood and honor the community.



# NARRATIVE



Site Plan



First Floor Plan



Second Floor Plan

# PLANS AND IMAGES



East Elevation



North Elevation



West Elevation



South Elevation

# PLANS AND IMAGES

*The variance process in section 1155 is used to address unique lots and balance the property owner's wants with the community's needs. Considerations include but are not limited to the following: impact on the neighborhood setting, impact on environment, topography, steep slopes, vegetation, lakes, ponds, streams, and susceptibility to erosion and sedimentation*

Because of the small buildable lots along Meadville Street, meeting all the City ordinances are very difficult and the Owner has diligently worked to fall within these ordinances as much as possible. Both new homes currently under construction on the small lots on Meadville Street have been granted variances to allow the Owners to build a home meeting the needs of today's families and fall in line with the quality of single-family residences in Greenwood.

Colin Sievers respectfully requests consideration of the following variance items:

1. Hardcover increase to 39.6% , allowable 32.67%, please see Site Plan attached, Exhibit C.

*The hardcover is limited to the building roof , driveway and a concrete sidewalk leading to the front door and a small lower deck stair section. Additional onsite parking, patios, accessory structures have not been proposed keeping the square footage of hard cover as low as possible. The hardcover total also includes a portion of the neighbors shed which is on the Siever's property.*

2. A partial 8-foot setback in lieu of a 10-foot setback on the north side of the property along the 33-foot kitchen/dining portion of the house. Refer to Exhibit C.

*The existing house originally built in 1915 is currently on the lot line. The new house proposal will afford the neighbors at 5260 Meadville an 8' space between the lot line and the 7' -9" setback for their house, more than doubling the distance between the two homes. The 8' setback along the kitchen and a 10' setback along the garage will also reduce the continuous length of the house encouraged in the ordinance to reduce the length of the house by stepping it back (1120.16 Subd 3.B). This is similar to what the neighbors next door proposed, and were granted, for the side yard setback at 5260 Meadville Street. This request also falls in line with 1120.16 Subd.1, where the ordinance calls out that no side yard setback shall be less than 8'. (1120.16 Subd. 1: The interior side yard setback is 15 ft for lot with an average lot width of 75 ft or more. For a lot with an average lot width less than 75 ft, the side yard setback is 20% of the average lot width; provided, however, that in no event shall a side yard setback be less than 8 ft.)*

3. A 26' foot diagonal setback along the east side of the house at the garage. Refer to Exhibit C.

*The property line runs at an angle to the parallel side yard lot line. In order to achieve the proper length for the garage stalls, the house needs to step into the angled setback line at the southeast corner of each garage stall. The garage is stepped to stay within the setbacks as much as possible.*

4. Verify if wall height variance is required, allowable 15'-0" (1.5 (Section 1120.20b) x 10' setback) and 12'-0" (1.5 (Section 1120.20b) x 8' Setback). Refer to Exhibit D.

Verify: Wall height at 10' setback is 9' 6" at soffit and 19'2" at top of wall (flat roof dormer).

*The design of the house is a flat roof. Because of the small lot and tight buildable main floor area, bedrooms need to be provided on the upper and lower levels. This is not a walkout lot, and the lower level rooms are not satisfactory master and primary bedroom areas. Working within the definitions of the ordinance, the garage height and bedrooms above the garage have been kept to minimum height and soffits have been provided to break up the horizontal proportions of the house. In a gabled roof house, soffits are used to create dormers in the same vertical line as the wall below (example 5260 Meadville) and in this case the lower soffit line defines the wall height. See images.*

# VARIANCE REQUEST

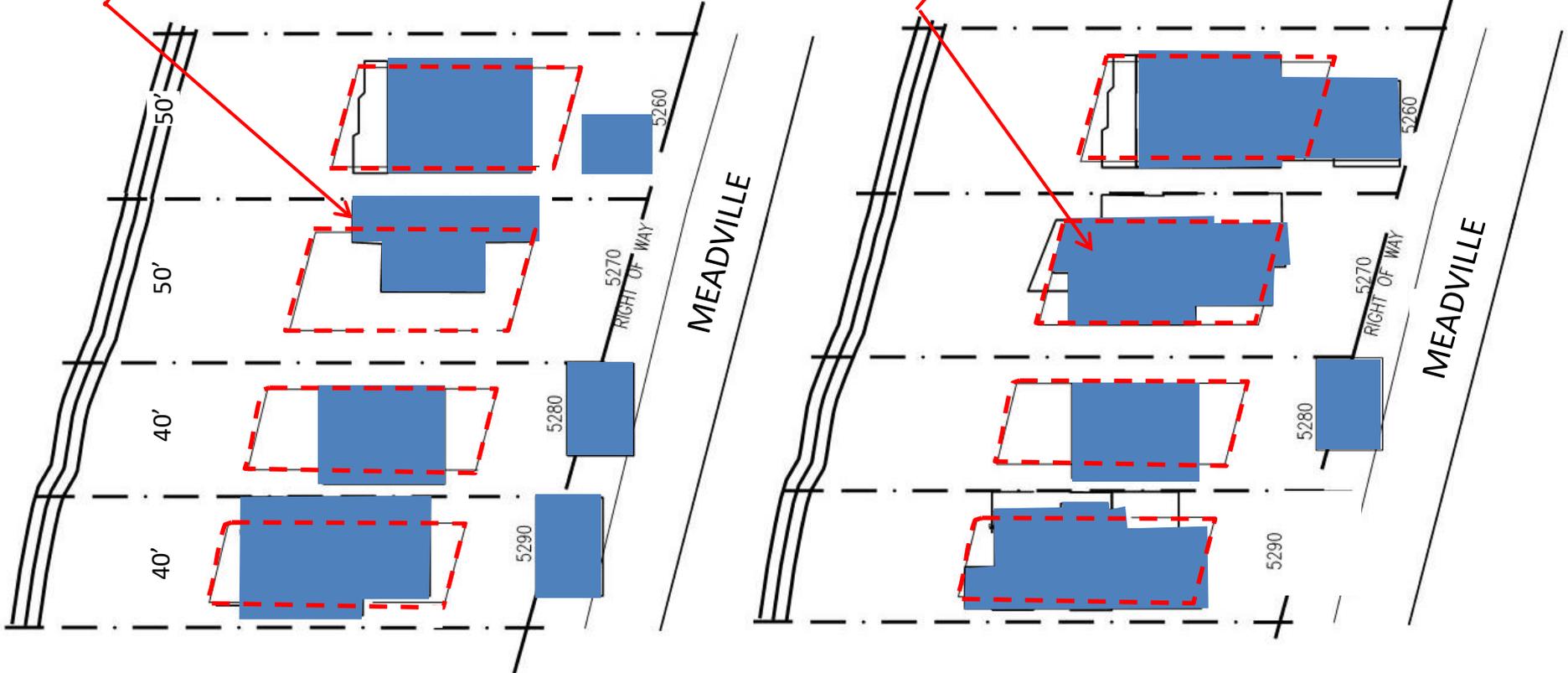
# NEIGHBORHOOD CONTEXT SITE STUDY

**RED** dashed line indicates setbacks as described in Greenwood ordinances

**BLUE** shape indicates foundation footprint of each house before construction in 2018 and current/future construction in 2020.

**Current house sits outside the desired setbacks**

**Proposed House, centered on lot**



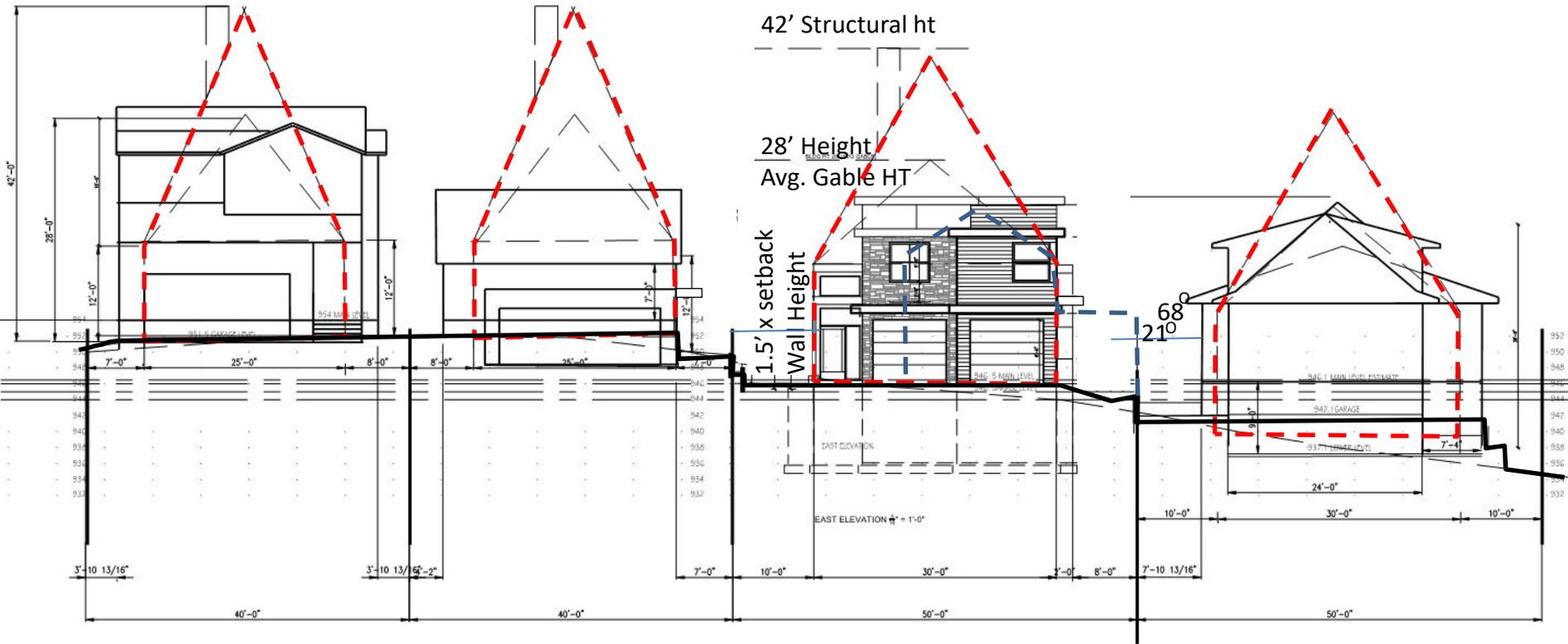
Neighborhood in 2018

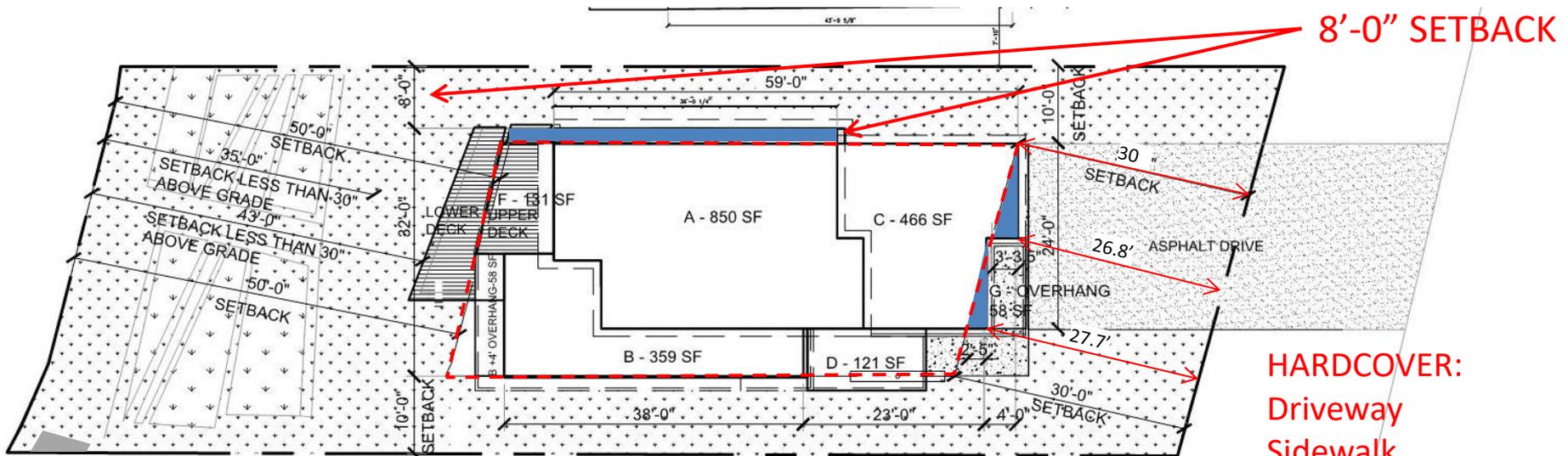
Current and Proposed 2020

# NEIGHBORHOOD CONTEXT SITE STUDY

**RED** dashed line indicates Greenwood setback and height ordinances

**BLUE** dashed lines indicate current house





Corner of  
Neighbors Shed

SITE PLAN 1/4"=1'-0"

**HARDCOVER:**  
Driveway  
Sidewalk  
House  
Deck

LEGEND	
	PROPERTY LINE
	SETBACK LINE
	ROOF EDGE
	FOUNDATION / WALL
	DECK
	CONCRETE SIDEWALK
	ASPHALT DRIVEWAY
	TURF
	PLANTING BED PERMEABLE
	AREA OVER SETBACK

HARD COVER	
17109 SF	HOUSE
282 SF	DECK
632 SF	BITUMINOUS DRIVEWAY
14 SF	NEIGHBORS SHED
253 SF	CONCRETE SURFACES
2,900 SF TOTAL	
NEW HARD COVER = 39.6%	
ALLOWABLE HARDCOVER	
7327 SF	EXG LOT x .001 = 7.327, 40 - 7.327 = 32.67%
2394	ALLOWABLE SF HARDCOVER

FINISHED SQUARE FOOTAGE	
1660 SF	LOWER LEVEL
1121 SF	MAIN FLOOR
1317 SF	SECOND FLOOR
4,098 SF	TOTAL

UNFINISHED SQUARE FOOTAGE	
540 SF	GARAGE
OUTDOOR SPACE SQUARE FOOTAGE	
188 SF	PORCH
163 SF	MAIN FLOOR DECK
134 SF	SECOND FLOOR DECK
108	ENTRY CANOPY

VOLUME		
AREA	T.O.F TO B.P.G.	CUBIC FEET
1724 SF X 1.2 FT HIGH		= 2,068 CF FOUNDATION WALL
AREA	HT TO T.O.F	CUBIC FEET
850 SF X 23.0 FT HIGH		= 19,550.0 CF AREA A
359 SF X 14.66 FT HIGH		= 5,791.0 CF AREA B
58 SF X 14.66 FT HIGH		= 850 CF AREA B OVERHANG
466 SF X 19 FT HIGH		= 8,840.0 CF AREA C
121 SF X 10.5 FT HIGH		= 1,271.0 CF AREA D
65 SF X 10.5 FT HIGH		= 682.5 CF AREA E
131 SF X 10.5 FT HIGH		= 1,375.5 CF AREA F
58 SF X 10 FT HIGH		= 580 CF AREA G
		41,008.0 CF
CONTINGENCY		2,954 CF

ALLOWABLE VOLUME FOR LOTS LESS THAN 7500SF  
6 X 7324 (LOT SF) = 43,962CF

Exhibit C

# PROPOSED SETBACKS

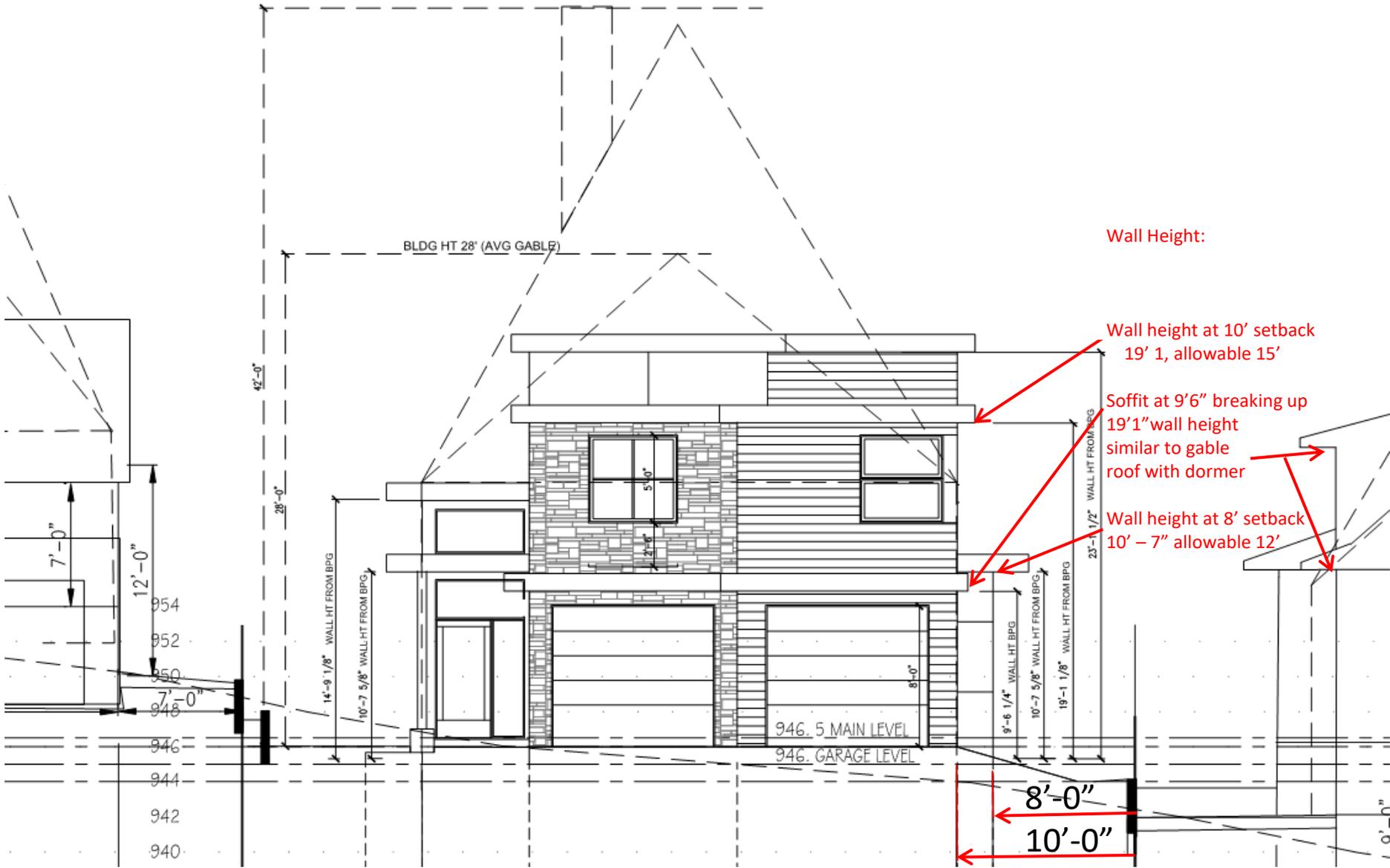


Exhibit D

# PROPOSED WALL HEIGHTS



Wall Height:  
Wall height at 10'  
setback

19' 1", allowable 15'

Soffit at 9'6" breaking up  
19'1" wall height  
similar to gable  
roof with dormer

Wall height at 8' setback  
10' - 7" allowable 12'

Example:  
For concept of height determination  
which did not require a wall height  
variance, neither did other new homes  
recently built under current ordinance.

\* Heights as per neighbor's documents

Exhibit D

# PROPOSED WALL HEIGHTS

**LEGAL DESCRIPTION:**

That part of Lot 2, lying South of the North 50 feet thereof; also the northerly 20 feet of Lot 3, SOLBERG'S POINT, Hennepin County, Minnesota.

**SCOPE OF WORK & LIMITATIONS:**

- Showing the length and direction of boundary lines of the legal description listed above. The scope of our services does not include determining what you own, which is a legal matter. Please check the legal description with your records or consult with competent legal counsel, if necessary, to make sure that it is correct and that any matters of record, such as easements, that you wish to be included on the survey have been shown.
- Showing the location of observed existing improvements we deem necessary for the survey.
- Setting survey markers or verifying existing survey markers to establish the corners of the property.
- Showing and tabulating impervious surface coverage of the lot for your review and for the review of such governmental agencies that may have jurisdiction over these requirements to verify they are correctly shown before proceeding with construction.
- Showing elevations on the site at selected locations to give some indication of the topography of the site. We have also provided a benchmark for your use in determining elevations for construction on this site. The elevations shown relate only to the benchmark provided on this survey. Use that benchmark and check at least one other feature shown on the survey when determining other elevations for use on this site or before beginning construction.
- This survey has been completed without the benefit of a current title commitment. There may be existing easements or other encumbrances that would be revealed by a current title commitment. Therefore, this survey does not purport to show any easements or encumbrances other than the ones shown hereon.
- While we show a proposed location for this home or addition, we are not as familiar with your proposed plans as you, your architect, or the builder are. Review our proposed location of the improvements and proposed yard grades carefully to verify that they match your plans before construction begins. Also, we are not as familiar with local codes and minimum requirements as the local building and zoning officials in this community are. Be sure to show this survey to said officials, or any other officials that may have jurisdiction over the proposed improvements and obtain their approvals before beginning construction or planning improvements to the property.
- Note that all building dimensions and building tie dimensions to the property lines, are taken from the siding and or stucco of the building.
- While we show the building setback lines per the City of Greenwood web site, we suggest you show this survey to the appropriate city officials to be sure that the setback lines are shown correctly. Do this BEFORE you use this survey to design anything for this site.

**STANDARD SYMBOLS & CONVENTIONS:**

● Denotes iron survey marker, set, unless otherwise noted.

**GRADING & EROSION CONTROL NOTES:**

**BEFORE DEMOLITION AND GRADING BEGIN:**

- Install silt fence/bio roll around the perimeter of the construction area.
- Sediment control measures must remain in place until final stabilization has been established and then shall be removed. Sediment controls may be removed to accommodate short term construction activity but must be replaced before the next rain.
- A temporary rock construction entrance shall be established at each access point to the site and a 6 inch layer of 1 to 2 inch rock extending at least 50 feet from the street into the site and shall be underlain with permeable geotextile fabric. The entrance shall be maintained during construction by top dressing or washing to prevent tracking or flow of sediments onto public streets, walks or alleys. Potential entrances that are not so protected shall be closed by fencing to prevent unprotected exit from the site.
- Contractor shall install inlet protection on all existing storm sewer inlets in accordance with the city standard details. Inlet protection shall also be provided on all proposed storm sewer inlets immediately following construction of the inlet. Inlet protection must be installed in a manner that will not impound water for extended periods of time or in a manner that presents a hazard to vehicular or pedestrian traffic.

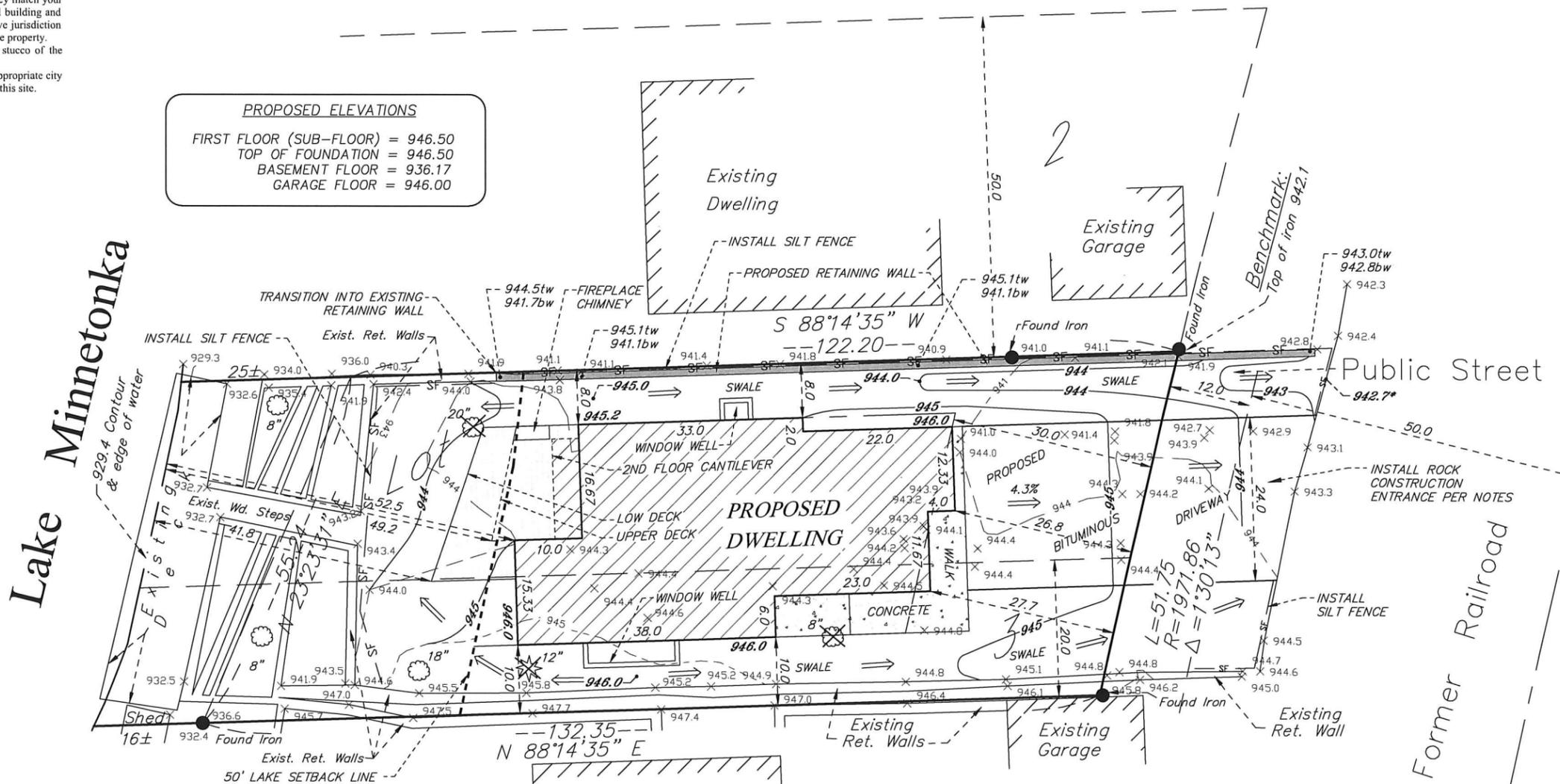
**DURING CONSTRUCTION:**

- When dirt stockpiles have been created, a double row of silt fence shall be placed to prevent escape of sediment laden runoff and if the piles or other disturbed areas are to remain in place for more than 14 days, they shall be seeded with Minnesota Department of Transportation Seed Mixture 22-111 at 100 lb/acre followed by covering with spray mulch.
- A dumpster shall be placed on the site for prompt disposal of construction debris. These dumpsters shall be serviced regularly to prevent overflowing and blowing onto adjacent properties. Disposal of solid wastes from the site shall in accordance with Minnesota Pollution Control Agency requirements.
- A separate container shall be placed for disposal of hazardous waste. Hazardous wastes shall be disposed of in accordance with MPCA requirements.
- Concrete truck washout shall be in the plastic lined ditch and dispose of washings as solid waste.
- Sediment control devices shall be regularly inspected and after major rainfall events and shall be cleaned and repaired as necessary to provide downstream protection.
- Streets and other public ways shall be inspected daily and if litter or soils has been deposited it shall promptly be removed.
- If necessary, vehicles, that have mud on their wheels, shall be cleaned before exiting the site in the rock entrance areas.

- Moisture shall be applied to disturbed areas to control dust as needed.
- Portable toilet facilities shall be placed on site for use by workers and shall be properly maintained.
- If it becomes necessary to pump the excavation during construction, pump discharge shall be into the stockpile areas so that the double silt fence around these areas can filter the water before it leaves the site.
- Temporary erosion control shall be installed no later than 14 days after the site is first disturbed and shall consist of broadcast seeding with Minnesota Department of Transportation Seed Mixture 22-111 at 100 lb/acre followed by covering with spray mulch.
- Erosion control measures shown on the erosion control plan are the absolute minimum. The contractor shall install temporary earth dikes, sediment traps or basins and additional silt fencing as deemed necessary to control erosion.

**SITE WORK COMPLETION:**

- When final grading has been completed but before placement of seed or sod an "as built" survey shall be done per City of Greenwood requirements to insure that grading was properly done.
- When any remedial grading has been completed, sod or seeding shall be completed including any erosion control blankets for steep areas.



DATE	REVISION DESCRIPTION
5-14-20	BUILDING ELEVATIONS PER CLIENT

<b>DRAWING ORIENTATION &amp; SCALE</b>		<b>CLIENT NAME / JOB ADDRESS</b>	
		<p><b>TAMMY MAGNEY</b> 5270 MEADVILLE STREET GREENWOOD, MN</p>	

**Advance**  
Surveying & Engineering, Co.

17917 Highway 7  
Minnetonka, Minnesota 55345  
Phone (952) 474-7964  
Web: www.advsur.com

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

*Josanna S. Rinke*  
Josanna S. Rinke  
# 52716  
LICENSE NO.  
MARCH 11, 2020  
DATE

DATE SURVEYED: JUNE 29, 2018	SHEET TITLE
SURVEYED BY ADVANCE SURVEYING, & ENG., CO.	<b>PROPOSED SURVEY</b>
DATE DRAFTED: MARCH 11, 2020	DRAWING NUMBER
	<b>200232 JR</b>

SHEET SIZE	22 X 34
SHEET NO.	<b>S1</b>
SHEET 1 OF 1	

**SIEVERS HOME**  
5270 MEADVILLE  
GREENWOOD, MN 55331

**MAGNEY**  
ARCHITECTURE

540 LAKE STREET, EXCELSIOR, MN 55331  
612-701-7117 TMAGNEY@MCHSI.COM

**PRE- CONSTRUCTION SET MAY 8, 2020**

PROJECT DESCRIPTION	PROJECT DIRECTORY	SHEET INDEX
<p><b>CODE INFORMATION:</b> SINGLE FAMILY CONSTRUCTION TYPE IRC -1 2015 MINNESOTA STATE RESIDENTIAL CODE 2014 NATIONAL ELECTRIC CODE 2015 MINNESOTASTATE MECHANICAL &amp; FUEL GAS CODE 2015 STATE FIRE CODE 2015 MINNESOTA PLUMBING CODE</p> <p><b>GREENWOOD CITY ORDINANCE INFORMATION:</b></p> <p>ZONING R-1 SINGLE FAMILY RESIDENTIAL DISTRICT <b>LOT SIZE:</b> MINIMUM LOT AREA -6570 SF, MINIMUM LOT WIDTH - 45', MINIMUM LOT DEPTH - NONE <i>PROPERTY LOT AREA - 7327 SF, WIDTH - 50', DEPTH - NORTH 120.2', SOUTH 132.' SITE</i></p> <p><b>HARDCOVER:</b> LOTS LESS THAN 10,000sf, FORMULA IS 40 - (the total lot area in sq ft x .001). = % OF HARDCOVER ALLOWED 40 - (7327 X .001) = 32.67% ALLOWABLE HARDCOVER <i>PROPOSED HARDCOVER 39.6 %</i></p> <p><b>SETBACKS:</b> FRONT YARD 30', LAKE YARD 50', INTERIOR SIDE YARD SETBACK LOTS LESS THAN 75' WIDE IS 20% OF THE LOT WIDTH 50' X 20% = 10' SIDE SETBACK SIDE SETBACK FOR (EXTERIOR SIDE WALL CAN NOT EXCEED 70' IN LENGTH) <i>PROPOSED SETBACKS - FRONT YARD 26', LAKE YARD 50', SIDE YARD 10' AND 8'</i></p> <p><b>ALLOWABLE HEIGHT:</b> BUILDING HEIGHT CAN NOT EXCEED 28 FT, STRUCTURE HEIGHT CAN NOT EXCEED 42 FT WALL HEIGHT MUST NOT EXCEED 1.5 TIMES THE APPLICABLE SIDE YARD SETBACK WITHIN 20' OF THE SIDE PROPERTY LINE</p> <p><b>PROPOSED HEIGHT -</b> NORTH - APPLICABLE SETBACK 8', ALLOWABLE HEIGHT 12' FROM BLDG PERMETER GRADE <i>PROPOSED HEIGHT 10'-7" AT 8' SETBACK</i> APPLICABLE SETBACK 10', ALLOWABLE HEIGHT 15' FROM BUILDING PERIMETER GRADE <i>PROPOSED HEIGHT 9'-7" SOFFIT, 19'-2" AT 10' SETBACK</i></p> <p>SOUTH - APPLICABLE SETBACK 10', ALLOWABLE HEIGHT 15' FROM BUILDING PERIMETER GRADE <i>PROPOSED HEIGHT 14'- 10"</i></p> <p><b>REQUIRED HOUSE DIMENSIONS:</b> MINIMUM WIDTH 25', <i>PROPOSED 30'</i>, MINIMUM FOOTPRINT AREA 800SF, <i>PROPOSED 1660 SF HOUSE + GARAGE</i> ATTACHED OR DETACHED GARAGE , HARD SURFACE DRIVEWAY TO THE STREET, <i>PROPOSED -ATTACHED GARAGE AND HARD SURFACE DRIVEWAY</i></p> <p><b>ALLOWABLE BUILDING VOLUME -</b> FOR LOTS LESS THAN 7500SF THE ALLOWABLE VOLUME = 6 X LOT SF, 6 X 7327 = 43,962 CF <i>PROPOSED BUILDING VOLUME TOTAL = 41,008CF</i></p>	<p><b>CLIENT:</b> COLIN SIEVERS CONTACT: csievers@poquetauto.com (952) 393-7004</p> <p><b>ARCHITECT:</b> MAGNEY ARCHITECTURE CONTACT: TAMMY MAGNEY, AIA tmagney@mchsi.com (612) 701-7117</p> <p><b>DESIGNER:</b> Darin Duch CONTACT: duch.darin@gmail.com (612) 385-5107</p> <p><b>SURVEYOR:</b> ADVANCED SURVEY SURVEY:</p> <p><b>STRUCTURAL ENGINEER:</b></p> <p><b>LANDSCAPE ARCHITECT:</b></p>	<p>SURVEY BY ADVANCED SURVEY</p> <ol style="list-style-type: none"> <li>1 TITLE SHEET</li> <li>2 SPECIFICATIONS</li> <li>3 SITE PLAN - VOLUME CALCULATIONS</li> <li>4 LOWER LEVEL FLOOR PLAN</li> <li>5 MAIN FLOOR PLAN</li> <li>6 SECOND FLOOR PLAN</li> <li>7 ROOF PLAN</li> <li>8 SOUTH EXTERIOR ELEVATION</li> <li>9 EAST EXTERIOR ELEVATIONS</li> <li>10 NORTH EXTERIOR ELEVATION</li> <li>11 WEST EXTERIOR ELEVATION</li> <li>12 EAST WEST BUILDING SECTION</li> <li>13 EAST WEST BUILDING SECTION</li> </ol>

**SIEVERS HOME**

PRICING SET

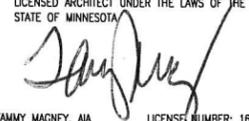
**ADDRESS:**  
5270 MEADVILLE STREET  
GREENWOOD MN 55331

Sheet Title:  
**TITLE SHEET**

Date: Schematic January 16, 2019  
Updated October 14, 2019  
Updated February 20, 2020  
Updated May 8, 2020

DRAWN BY: TSM

I HERBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT HAS BEEN PREPARED BY ME AND OR UNDER MY SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA



TAMMY MAGNEY, AIA LICENSE NUMBER: 16917  
EXPIRATION: JUNE 30, 2018

Sheet Number:  
  
**1**

GENERAL NOTES:

1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH APPLICABLE CODES - IRC 2015, MINNESOTA ENERGY CODE
2. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH LOCAL ZONING ORDINANCES
3. CONTRACTOR WILL VERIFY LOCATIONS OF EXISTING UTILITIES IF NECESSARY
4. EACH SUB-CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR MAKING SURE THEIR PART OF THE WORK MEETS CODE, IS STRUCTURALLY SOUND, WATERTIGHT AND OF QUALITY CONSTRUCTION.

FRAMING NOTES:

5. ALL WALLS SHALL BE 16" OC WITH A DOUBLE TOP PLATE UNLESS OTHERWISE NOTED
6. ALL STUDS SHALL BE S.P.F. STUD GRADE OR BETTER UNLESS OTHERWISE NOTED
7. ALL HEADERS TO BE PER PLAN
8. ALL EXTERIOR HEADERS SHALL HAVE (1) 2X6 STUD BEARING STUD AND (1) FULL HEIGHT KING STUD ON EACH SIDE OF U.N.O
9. ROOF TRUSSES AND JOIST SHALL BE DESIGNED BY TRUSS MANUFACTURE OR JOIST MANUFACTURER
10. PRESSURE TREATED WOOD S.Y.P. OR BETTER SHALL BE USED AT ALL AREAS STUDS MEET CONCRETE OR CONCRETE BLOCK
11. FLOOR DECK SHALL BE 3/4" PLYWOOD

CONCRETE NOTES:

12. ALL CONCRETE FOOTINGS AND FOUNDATION SYSTEMS ARE TO BE DESIGNED FOR 2000 PSI SOIL
13. FOUNDATION WALLS SHALL BE FULL HEIGHT AT UNBALANCED FILL GREATER THAN 3/4"
14. 1/2" ANCHOR BOLTS EMBEDDED 7" MINIMUM AT 6" OC MAX. 12" MINIMUM FROM EACH END. MINIMUM OF 2 BOLTS EACH SILL PLATE
15. PAD FOOTING REINFORCEMENT IS TO BE LOCATED 3" FROM BOTTOM OF FOOTING TYP (WHEN REQUIRE)
16. REFER TO STRUCTURAL FOR ADDITIONAL INFORMATION REGARDING REBAR
17. MINIMUM 5000PSI CONCRETE AT ALL FOOTINGS

HVAC NOTES:

17. HVAC - TBD - PROVIDE AC THROUGHOUT HOUSE AND HEATED FLOORS IN BATHROOMS

ELECTRICAL:

18. ELECTRICAL - LED LIGHTING INTERIOR AND EXTERIOR, OCCUPANCY SENSORS, LUTRON LIGHTING CONTROL OR EQUAL,
19. LOW VOLTAGE - INTEGRATED SOUND/ VIDEO SYSTEM THROUGHOUT HOUSE / VOICE OF IP , PROVIDE EXTERIOR SPEAKER IN PORCH AND UPPER DECK AREA
20. PROVIDE FOR ELECTRIC CAR PLUG IN IN BOTH GARAGE STALLS

RADON:

21. PROVIDE PASSIVE RADON MITIGATION SYSTEM FROM BASEMENT VENTED THROUGH ROOF. SEAL JOINTS, CRACKS AND OTHER OPENINGS WITH POLYURETHANE CAULK OR ELASTOMERIC SEALANT ACCORDING TO MANUFACTURES SPEC.
22. BASEMENT CONCRETE SLAB SHALL HAVE 6 MILL POLY BARRIER W 12" LAPPED SEAMS BELOW ENTIRE SLAB ON TOP OF GAS PERMEABLE LAYER OF 4" CLEAN COURSE AGGREGATE

PLUMBING

23. PROVIDE FROST RESISTANT OUTDOOR HOSE BIBS ON EACH ELEVATION
24. PROVIDE ALLOWANCES FOR DUAL FLUSH TALL TOILETS, BATHROOM ACCESSORIES, SHOWER AND TUB FAUCETS AND SINK FAUCETS.
25. PROVIDE GAS HOOK UPS FOR KITCHEN STOVE AND MAIN AND LOWER LEVEL FIREPLACE

EXTERIOR MATERIALS:  
SITE

1. RETAINING WALL AT DRIVEWAY - STONE VENEER OVER CMU W/ 4" LIMESTONE CAP
2. SIDEWALK TO BE BROOMED CONCRETE
3. DRIVEWAY TO ASPHALT WITH 3' CONCRETE APRON AT GARAGE
4. DECK SHALL BE IRONWOOD DECKING WITH TREATED CEDAR TONE FRAMING
5. DECK RAIL SHALL BE CABLE RAIL WITH IRONWOOD TOP AND PANTED TUBE STEEL SUPPORTS
6. ALL OPEN AREAS TO BE TURF
7. RETAINING WALLS TO LAKE ARE BY OTHERS

EXTERIOR WALLS

8. FOUNDATION WALLS SHALL BE CONCRETE BLOCK UNLESS POURED IN PLACE CONCRETE OR AN INSULATED CONCRETE SYSTEM IS DEEMED MORE COST EFFECTIVE BY CONTRACTOR, 2" RIGID EXTERIOR INSULATION WITH PRE-FINISHED METAL FLASHING OVER EXPOSED INSULATION AT GRADE. PROVIDE INTERIOR WARM WALLS IN FINISHED AREAS.
9. REFER TO SECTIONS FOR FRAMING NOTES - 2X6 FRAMING, . SHEATHING SHALL BE MIN 1/2" PLYWOOD OR OSB AS DETERMINED BY CONTRACTOR. BREATHABLE HOUSE WRAP AND DRAINAGE PLANE.
10. REFER TO BUILDING ELEVATIONS FOR EXTERIOR MATERIALS , PRE-FINISHED WALL PANELS WITH REVEAL SURROUND TRIM WITH CONCEALED FASTNERS BY HARDIE ASPYRE OR TAMLYN. 6" LAP PRE-FINISHED SIDING TO BE LP OR HARDIE, STONE TO BE VENEER SIMILAR TO CHILTON. 8" SHIPLAP CEDAR SHALL BE CLEAR AND VERTICAL GRAIN WITH AN OILED FINISH
11. TRIM SHALL BE PRE-FINISHED LP OR HARDIE TO MATCH SIDING OR CLEAR CEDAR AS CALLED OUT ON ELEVATIONS
12. ACCENT OVERHANGS SHALL HAVE A 1X12 CEDAR TRIM BOARD WITH AND OILED FINISH
13. EXTERIOR SOFFITS SHALL BE LP / HARDIE SOFFIT MATERIAL EXCEPT AT MAIN LEVEL PORCH AND ENTRY CANOPY, PROVIDE 1 X 6 T&G CEDAR WITH AN OILED FINISH
14. EXTERIOR METAL FLASHING, GUTTERS, OTHER SHALL BE PRE-FINISHED AND FLASHED PER CODE

ROOF

15. ROOF STRUCTURE TO BE TRUSSES/JOISTS AS DETERMINED MOST ECONOMICAL, ROOF SHEATHING TO BE 3/4" PLYWOOD WITH BUILDING PAPER AND ICE AND WATER SHIELD FROM ROOF EDGE TO 6' BEYOND TO WARM SIDE OF WALL .SLOPE ROOF AT 1/4" PER FOOT MINIMUM WITH RIGID INSULATION TO SCUPPERS
16. PROVIDE REINFORCED 60 MIL EPDM FULLY ADHERED ROOFING.

INSULATION

17. ALL EXTERIOR WALL TO MEET OR EXCEED MINNESOTA ENERGY CODE. WALLS SHALL BE FILLED WITH BAT INSULATION WITH 1" CONTINUOUS RIGID ON EXTERIOR TO MEET OR EXCEED CODE
18. ROOF INSULATION SHALL MEET OR EXCEED MINNESOTA ENERGY CODE FOR A HOT ROOF.
19. ALL RIM JOISTS, FLOOR SPACES OVER UNCONDITIONED SPACE OR CANTILEVERED ARE TO BE INSULATED TO MEET OF EXCEED MINNESOTA ENERGY CODE

DOORS AND WINDOWS

20. GARAGE DOOR SHALL BE STANDARD INSULATED FLUSH DOOR WITH APPLIED 1X6 SHIPLAP CEDAR WITH AND OILED FINISH, AUTOMATIC GARAGE DOOR OPENERS
21. EXTERIOR INSULATED LOW E GLASS DOORS SHALL BE WOOD CLAD MARVIN AND NANA WALL, OR EQUAL SERVICE DOORS SHALL BE INSULATED METAL (GARAGE) DOOR HARDWARE SHALL BE EMTEK OR EQUAL
22. COILING EXTERIOR SCREEN BY PHANTOM OR EQUAL
23. WINDOWS SHALL BE 1" INSULATED LOW E WOOD CLAD WITH FACTORY PAINT FINISH, CONTEMPORARY DETAILING BY MARVIN OR EQUAL. WINDOW DENOTED WITH "F" ARE FIXED, "A" ARE AWNING, "C" ARE CASEMENT
24. ANY WINDOW WITHIN 24" OF A DOOR SWING, BELOW 18" ABOVE FINISHED FLOOR, ABOVE A TUB, MUST BE TEMPERED
25. ALL BEDROOMS MUST HAVE AN EGRESS WINDOW OR DOOR
26. IF WINDOW SILLS ARE BELOW 3' FROM THE FINISHED FLOOR AND 72" ABOVE GRADE MUST HAVE A FALL PREVENTION OR OPENING LIMITER DEVICE PER CODE.

INTERIOR MATERIALS:

FLOOR

1. FLOOR DECKING SHALL BE 3/4" PLYWOOD
2. MAIN FLOOR - 12" X 12" SLATE
3. LOWER LEVEL - CARPET IN FINISHED LIVING AREAS, SLATE OR PORCELAIN TILE IN BATHROOMS AND SHOWER
4. UPPER FLOOR - CARPET THROUGHOUT, SLATE OR PORCELAIN TILE IN BATHROOM AND SINK AREAS, LAUNDRY, CONCRETE IN STORAGE AND MECHANICAL AREA

WALLS

5. INTERIOR WALLS SHALL BE 2X4 CONSTRUCTION 16" OC UNLESS OTHER WISE NOTED
6. WET WALLS WITH TOILETS AND SINKS MOUNTED ON THEM SHALL BE 2X6 INSULATED
7. INTERIOR FINISHES ARE NOTED ON ELEVATIONS AND SECTIONS
8. ALL SURFACE SHALL BE PANTED GBD UNLESS OTHERWISE NOTED.
9. SHOWER WALLS SHALL BE LARGE FORMAT TILE
10. INTERIOR FIREPLACE WALL SHALL HAVE VENEER STONE TO MATCH EXTERIOR SEE INTERIOR ELEVATION
11. ACCENT WALL MATERIAL AROUND FIREPLACE SHALL BE 24" X 48" PANELS OF CONCRETE GLUED TO GBD WALL WITH BUTT JOINTS

TRIM

14. 1X6 BASE TO BE PANTED
15. 1X4 CASEMENT TRIM AT WINDOWS AND DOORS, PANTED OR STAINED (VERIFY)

INTERIOR DOORS

16. FLUSH SOLID CORE BIRCH PANTED OR STAINED TO BE DETERMINED
17. CABINETS SHALL BE WOOD, WOOD FINISH, COUNTER TOPS SHALL BE GRANITE OR QUARTZ

CEILINGS

18. CEILINGS TO BE GBD, TAPED AND SANDED SMOOTH, PANTED

STAIRS

19. STAIRS STRINGERS TO BE WELDED STEEL CHANNELS WITH WELDED ANGLES FOR WOOD SLAB STAIR TREADS.. PROVIDE 3/4" ROD HORZ BETWEEN TOP OF TREAD BOTTOM OF NEXT TREAD TO REDUCE OPENING TO LESS THAN 4".
20. RAILING SHALL BE 2" WELDED TUBE STEEL WITH WOOD HANDRAIL
21. PROVIDE SLAT WALL OF 1X2 PIECES OF WOOD FLOOR TO CEILING ON NORTH SIDE OF STAIR

CABINETS

22. PROVIDE SOFT CLOSE, FLUSH DOOR ,PANTED CABINET UPPER AND LOWER CABINETS IN KITCHEN AND BATHROOMS, HIGH QUALITY BOX CABINETS ACCEPTABLE
23. PROVIDE QUARTZ TOPS
24. ALL SINKS SHALL BE UNDERMOUNT

APPLIANCES

25. APPLIANCES BY OWNER

FIXTURES

25. ALL ROOMS TO HAVE RECESSED DIMABLE LED CANS
26. EXTERIOR LIGHTING TO BE RECESSED CANS IN ENTRY CANOPY, GARAGE SOFFIT, PORCH CEILING, UPPER DECK SOFFIT
27. ACCENT LIGHT FIXTURES TO BE PROVIDED BY OWNER, INSTALLATION BY CONTRACTOR IN DINING AREA, KITCHEN ISLAND, FRONT ENTRY, AND ABOVE BATHROOM VANITIES

FIREPLACE

28. PROVIDE GAS FIREPLACE IN LIVING ROOM AND LOWER LEVEL FAMILY ROOM, OUTDOOR PORCH AND UPPER DECK

MAGNEY ARCHITECTURE

540 LAKE STREET, EXCELSIOR, MN 55331  
612-701-7117 TMAGNEY@MCHSI.COM

SIEVERS HOME

PRICING SET

ADDRESS:

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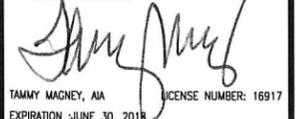
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SPECIFICATION

Date: Schematic January 16, 2019  
Updated October 14, 2019  
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Updated May 8, 2020

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TAMMY MAGNEY, AIA LICENSE NUMBER: 16917  
EXPIRATION :JUNE 30, 2018

Sheet Number:

2

**SIEVERS**  
**HOME**

PRE-CONSTRUCTION SET

ADDRESS:  
5270 MEADVILLE STREET  
GREENWOOD MN 55331

Sheet Title:  
**SITE PLAN**

Date: Schematic January 16, 2019  
Updated October 14, 2019  
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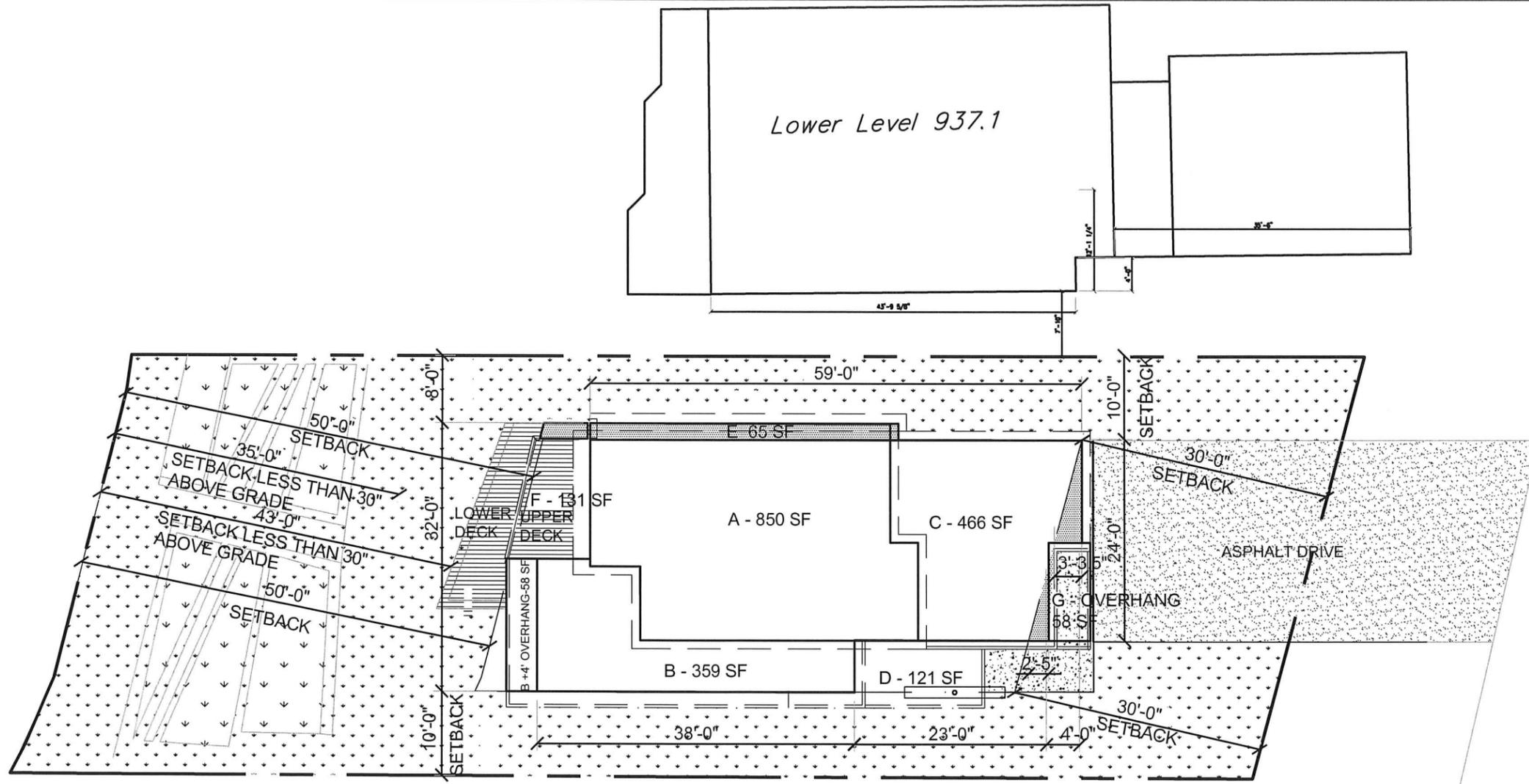
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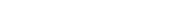
Sheet Number:

**3**



SITE PLAN 1/8"=1'-0"

6.3.2020 revised

	<b>LEGEND</b>	<b>HARD COVER</b>
	PROPERTY LINE	1719 SF HOUSE
	SETBACK LINE	282 SF DECK
	ROOF EDGE	632 SF BITUMINOUS DRIVEWAY
	FOUNDATION / WALL	14 SF NEIGHBORS SHED
	DECK	253 SF CONCRETE SURFACES
	CONCRETE SIDEWALK	2,900 SF TOTAL
	ASPHALT DRIVEWAY	NEW HARD COVER = 39.6%
	TURF	ALLOWABLE HARDCOVER
	PLANTING BED PERMEABLE	7327 SF EXG LOT x .001= 7.327, 40 - 7.327= 32.67%
	AREA OVER SETBACK	2394 ALLOWABLE SF HARDCOVER

**FINISHED SQUARE FOOTAGE**

1660 SF LOWER LEVEL  
1121 SF MAIN FLOOR  
1317 SF SECOND FLOOR  
4,098 SF

**UNFINISHED SQUARE FOOTAGE**

540 SF GARAGE

**OUTDOOR SPACE SQUARE FOOTAGE**

188 SF PORCH  
163 SF MAIN FLOOR DECK  
134 SF SECOND FLOOR DECK  
108 ENTRY CANOPY

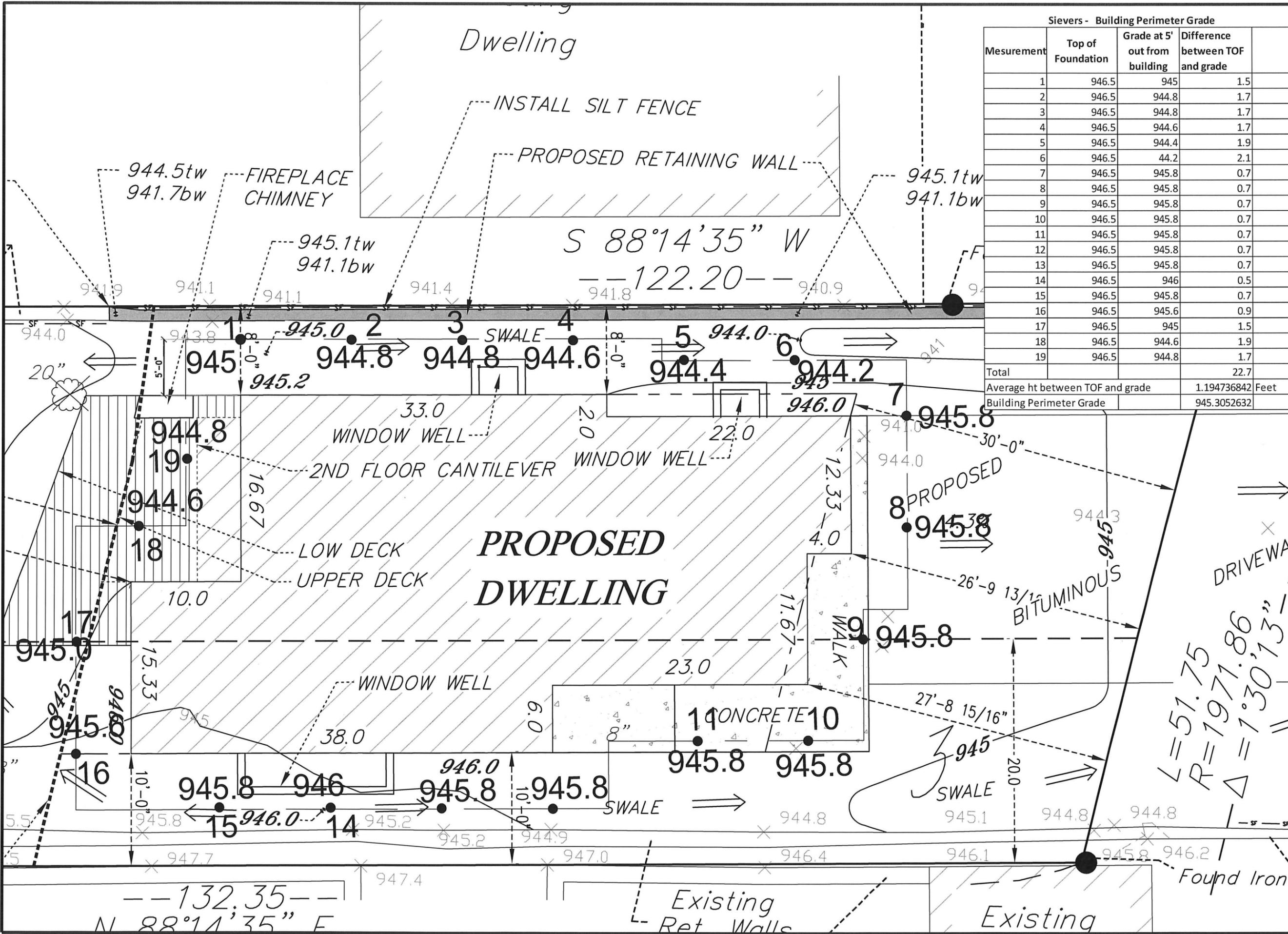
**VOLUME**

<b>AREA</b>	<b>T.O.F TO B.P.G.</b>	<b>CUBIC FEET</b>
1724 SF	X 1.2 FT HIGH	= 2,068 CF FOUNDATION WALL

AREA	HT TO T.O.F	CUBIC FEET
850 SF X 23.0 FT HIGH		=19,550.0 CF AREA A
359 SF X 14.66 FT HIGH		= 5,791.0 CF AREA B
58 SF X 14.66 FT HIGH		= 850 CF AREA B OVERHANG
466 SF X 19 FT HIGH		= 8,840.0 CF AREA C
121 SF X 10.5 FT HIGH		= 1,271.0 CF AREA D
65 SF X 10.5 FT HIGH		= 682.5 CF AREA E
131 SF X 10.5 FT HIGH		= 1,375.5 CF AREA F
58 SF X 10 FT HIGH		= 580 CF AREA G
		41,008.0 CF
CONTINGENCY		2,954 CF

ALLOWABLE VOLUME FOR LOTS LESS THAN 7500SF  
6 X 7324 (LOT SF) = 43,962CF

Sievers - Building Perimeter Grade			
Mesurement	Top of Foundation	Grade at 5' out from building	Difference between TOF and grade
1	946.5	945	1.5
2	946.5	944.8	1.7
3	946.5	944.8	1.7
4	946.5	944.6	1.7
5	946.5	944.4	1.9
6	946.5	44.2	2.1
7	946.5	945.8	0.7
8	946.5	945.8	0.7
9	946.5	945.8	0.7
10	946.5	945.8	0.7
11	946.5	945.8	0.7
12	946.5	945.8	0.7
13	946.5	945.8	0.7
14	946.5	946	0.5
15	946.5	945.8	0.7
16	946.5	945.6	0.9
17	946.5	945	1.5
18	946.5	944.6	1.9
19	946.5	944.8	1.7
Total			22.7
Average ht between TOF and grade		1.194736842	Feet
Building Perimeter Grade		945.3052632	



SIEVERS HOME

PRE-CONSTRUCTION SET

ADDRESS:  
5270 MEADVILLE STREET  
GREENWOOD MN 55331

Sheet Title:  
BASEMENT  
FLOOR PLAN

Date: Schematic January 16, 2019  
Updated October 14, 2019  
Updated February 20, 2020  
Updated May 8, 2020

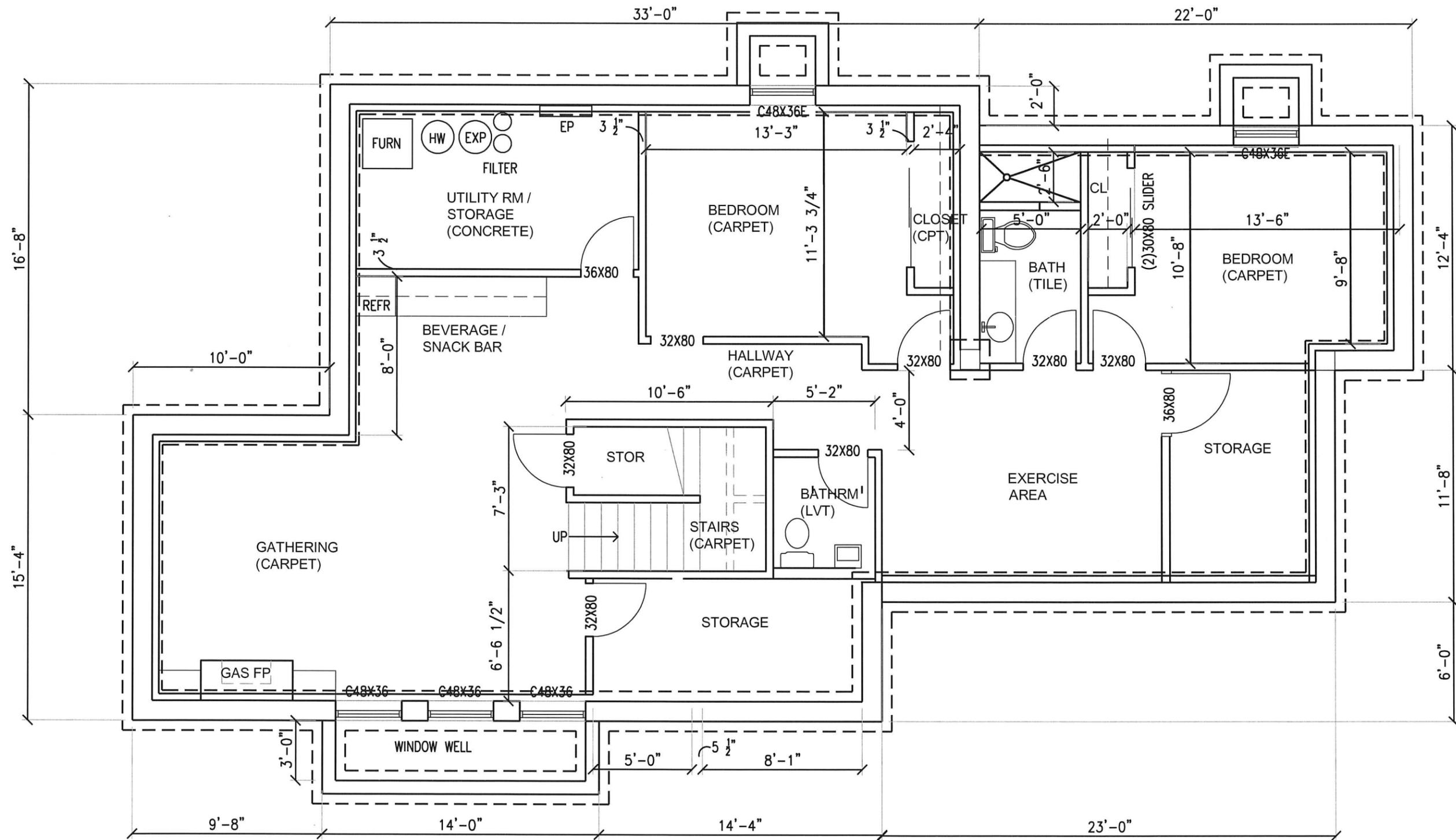
DRAWN BY: TSM

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*Tammy Magney*  
TAMMY MAGNEY, AIA LICENSE NUMBER: 16917  
EXPIRATION: JUNE 30, 2020

Sheet Number:

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LOWER LEVEL PLAN  $\frac{3}{16}'' = 1'-0''$

SQUARE FOOTAGE  
1121 SF LOWER FLOOR  
540 SF UNEXCAVATED  
70 SF WINDOW WELL

**SIEVERS**  
**HOME**

PRE-CONSTRUCTION SET

ADDRESS:  
5270 MEADVILLE STREET  
GREENWOOD MN 55331

Sheet Title:  
**MAIN LEVEL**  
**FLOOR PLAN**

Date: Schematic January 16, 2019  
Updated October 14, 2019  
Updated February 20, 2020  
Updated May 8, 2020

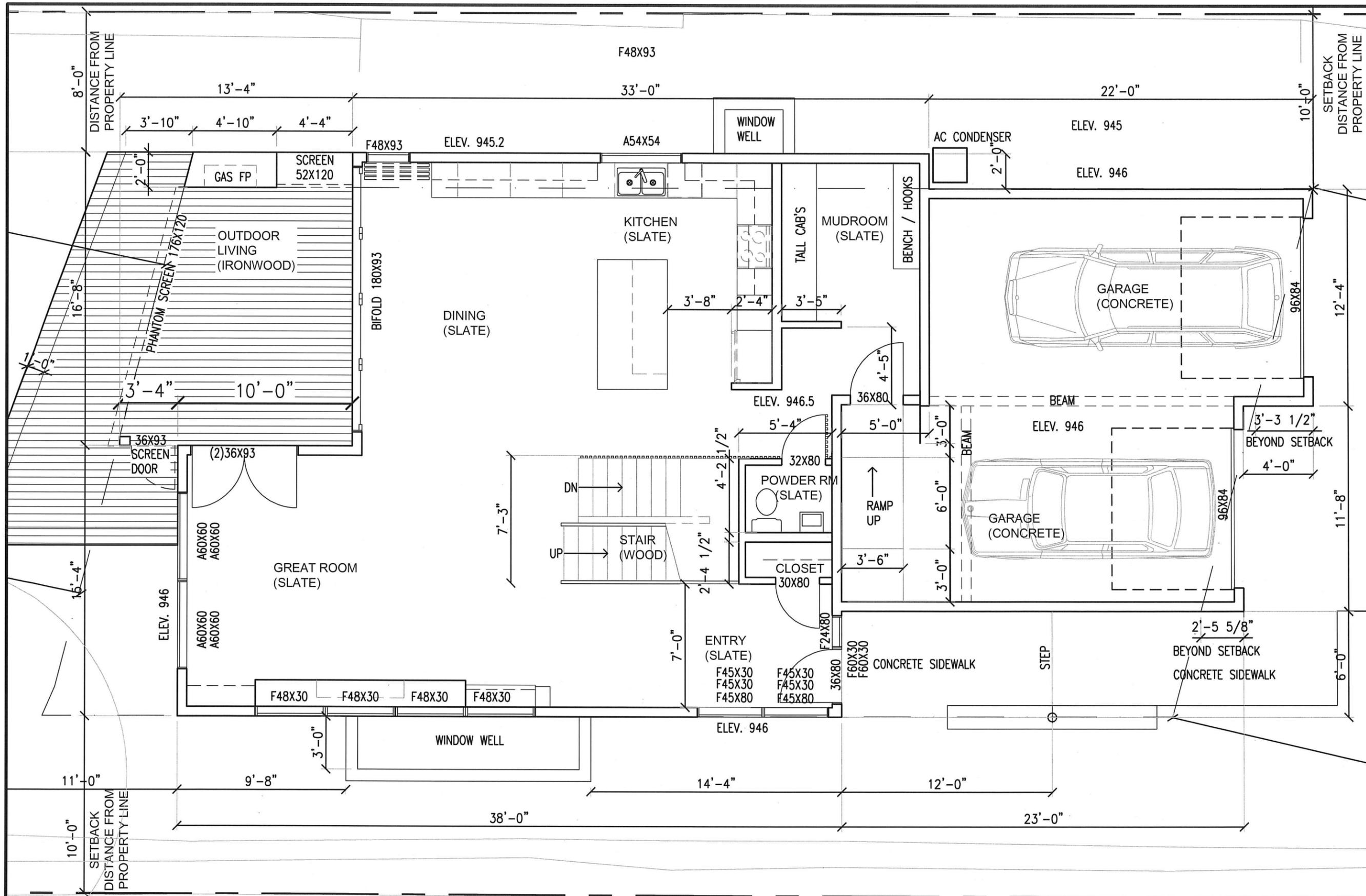
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EXPIRATION JUNE 30, 2020

Sheet Number:

5



MAIN LEVEL PLAN  $\frac{3}{16}'' = 1'-0''$

SQUARE FOOTAGE	
1121 SF	MAIN FLOOR
188 SF	PORCH
163 SF	MAIN FLOOR DECK
108 SF	ENTRY CANOPY

SIEVERS  
HOME

PRE-CONSTRUCTION SET

ADDRESS:  
5270 MEADVILLE STREET  
GREENWOOD MN 55331

Sheet Title:  
UPPER LEVEL  
FLOOR PLAN

Date: Schematic January 16, 2019  
Updated October 14, 2019  
Updated February 20, 2020  
Updated May 8, 2020

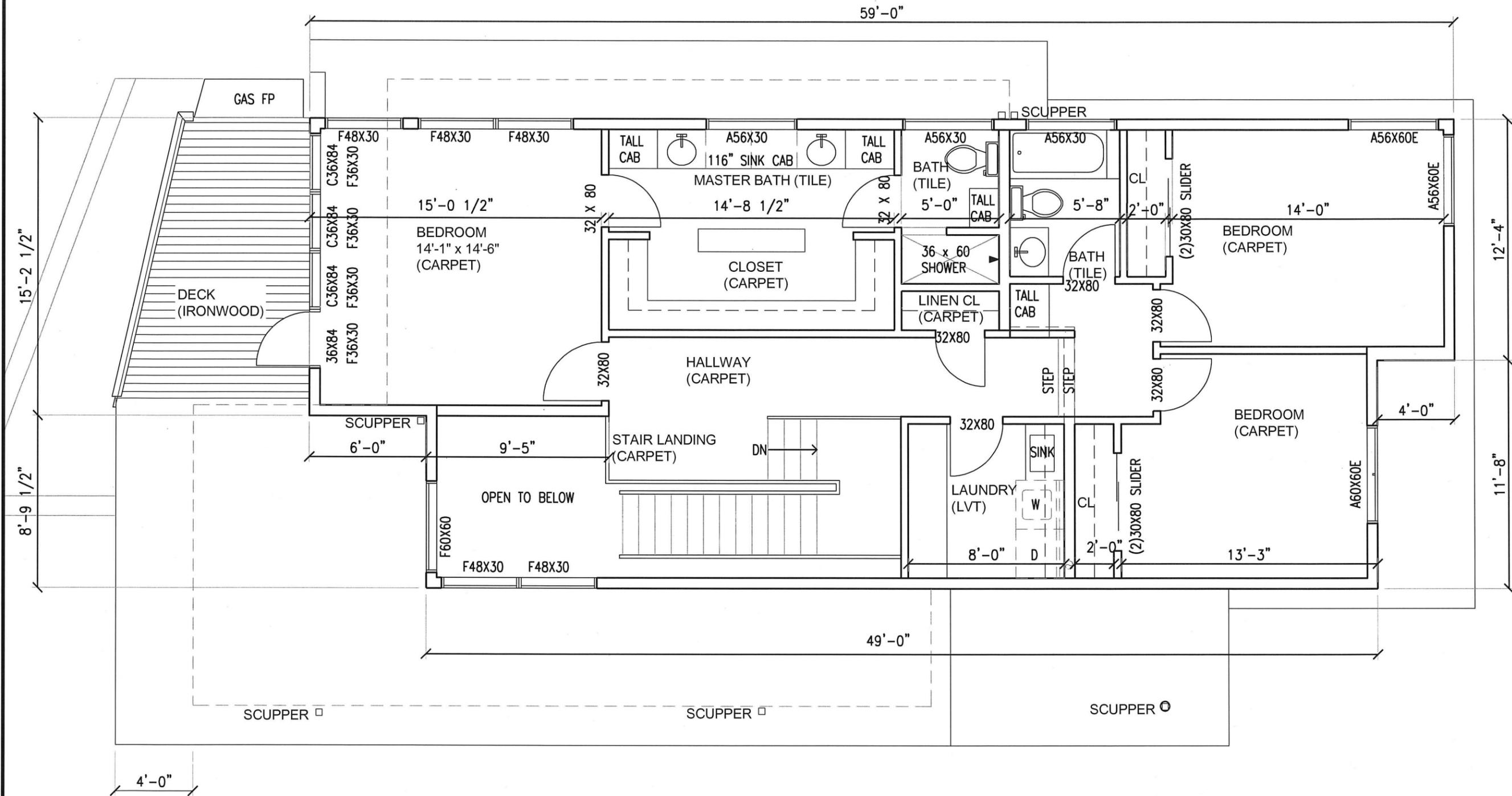
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Sheet Number:

6



MAIN LEVEL PLAN  $\frac{3}{16}'' = 1'-0''$

SQUARE FOOTAGE  
1317 SF SECOND FLOOR  
131 SF DECK



SIEVERS  
HOME

PRE-CONSTRUCTION SET

ADDRESS:  
5270 MEADVILLE STREET  
GREENWOOD MN 55331

Sheet Title:  
SOUTH EXTERIOR  
ELEVATION

Date: Schematic January 16, 2019  
Updated October 14, 2019  
Updated February 20, 2020  
Updated May 8, 2020

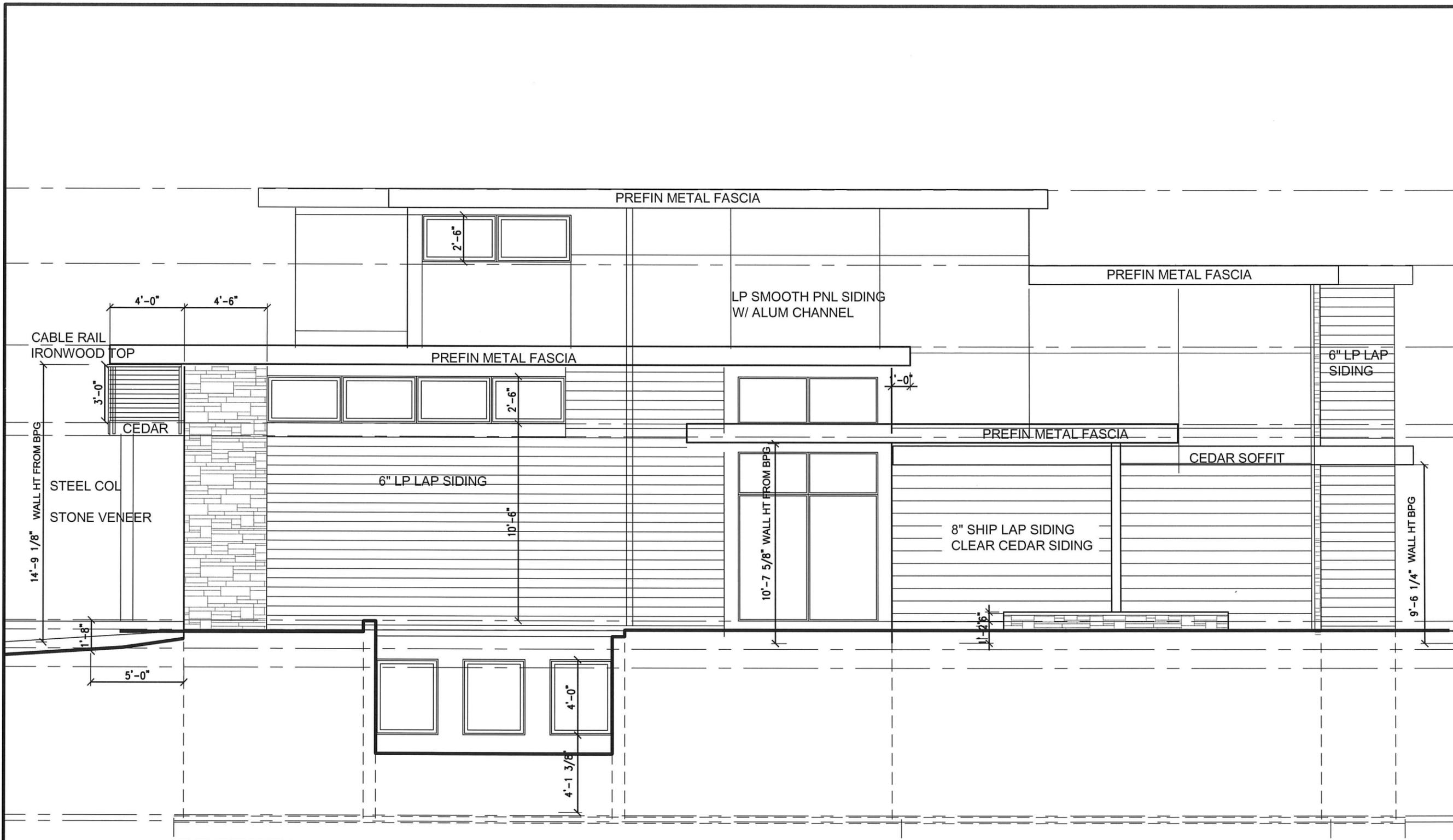
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EXPIRATION: JUNE 30, 2020

Sheet Number:

8



SOUTH ELEVATION  $\frac{3}{16}'' = 1'-0''$

SIEVERS  
HOME

PRE-CONSTRUCTION SET

ADDRESS:  
5270 MEADVILLE STREET  
GREENWOOD MN 55331

Sheet Title:  
EAST EXTERIOR  
ELEVATION

Date: Schematic January 16, 2019  
Updated October 14, 2019  
Updated February 20, 2020  
Updated May 8, 2020

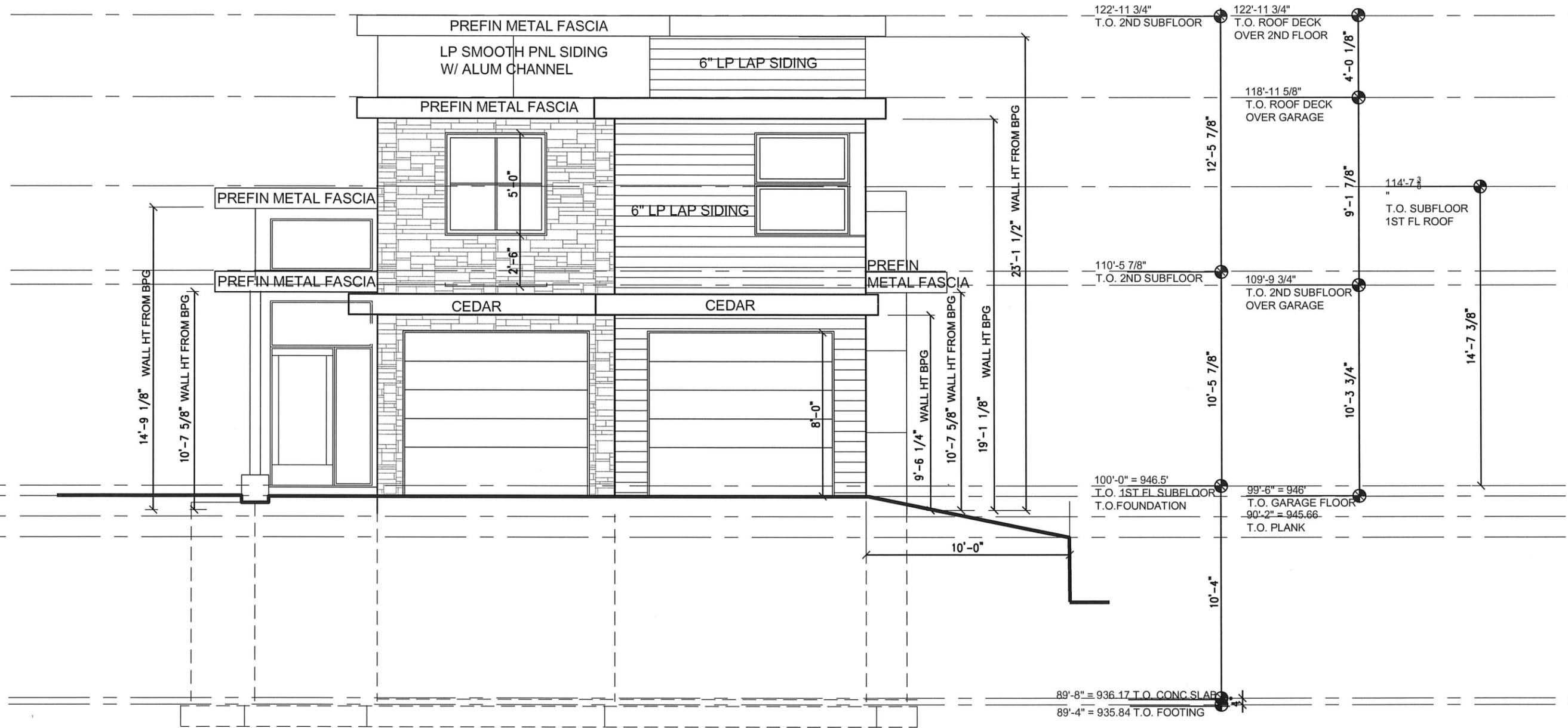
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EXPIRATION: JUNE 30, 2020

Sheet Number:

9



EAST ELEVATION  $\frac{3}{16}'' = 1'-0''$

SIEVERS  
HOME

PRE-CONSTRUCTION SET

ADDRESS:  
5270 MEADVILLE STREET  
GREENWOOD MN 55331

Sheet Title:  
NORTH EXTERIOR  
ELEVATION

Date: Schematic January 16, 2019  
Updated October 14, 2019  
Updated February 20, 2020  
Updated May 8, 2020

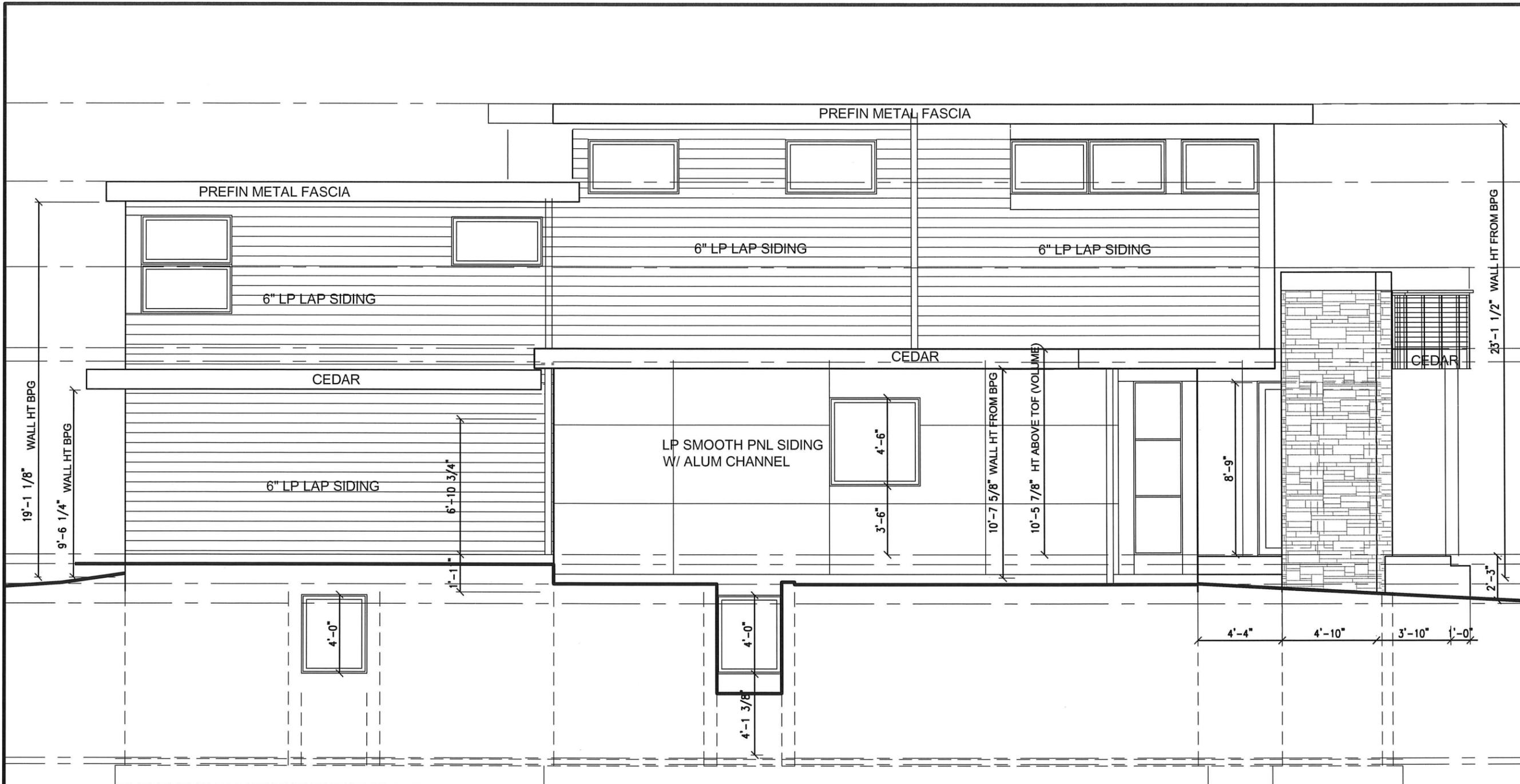
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EXPIRATION: JUNE 30, 2020

Sheet Number:

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NORTH ELEVATION  $\frac{3}{16}'' = 1'-0''$

SIEVERS  
HOME

PRE-CONSTRUCTION SET

ADDRESS:  
5270 MEADVILLE STREET  
GREENWOOD MN 55331

Sheet Title:

WEST EXTERIOR  
ELEVATION

Date: Schematic January 16, 2019  
Updated October 14, 2019  
Updated February 20, 2020  
Updated May 8, 2020

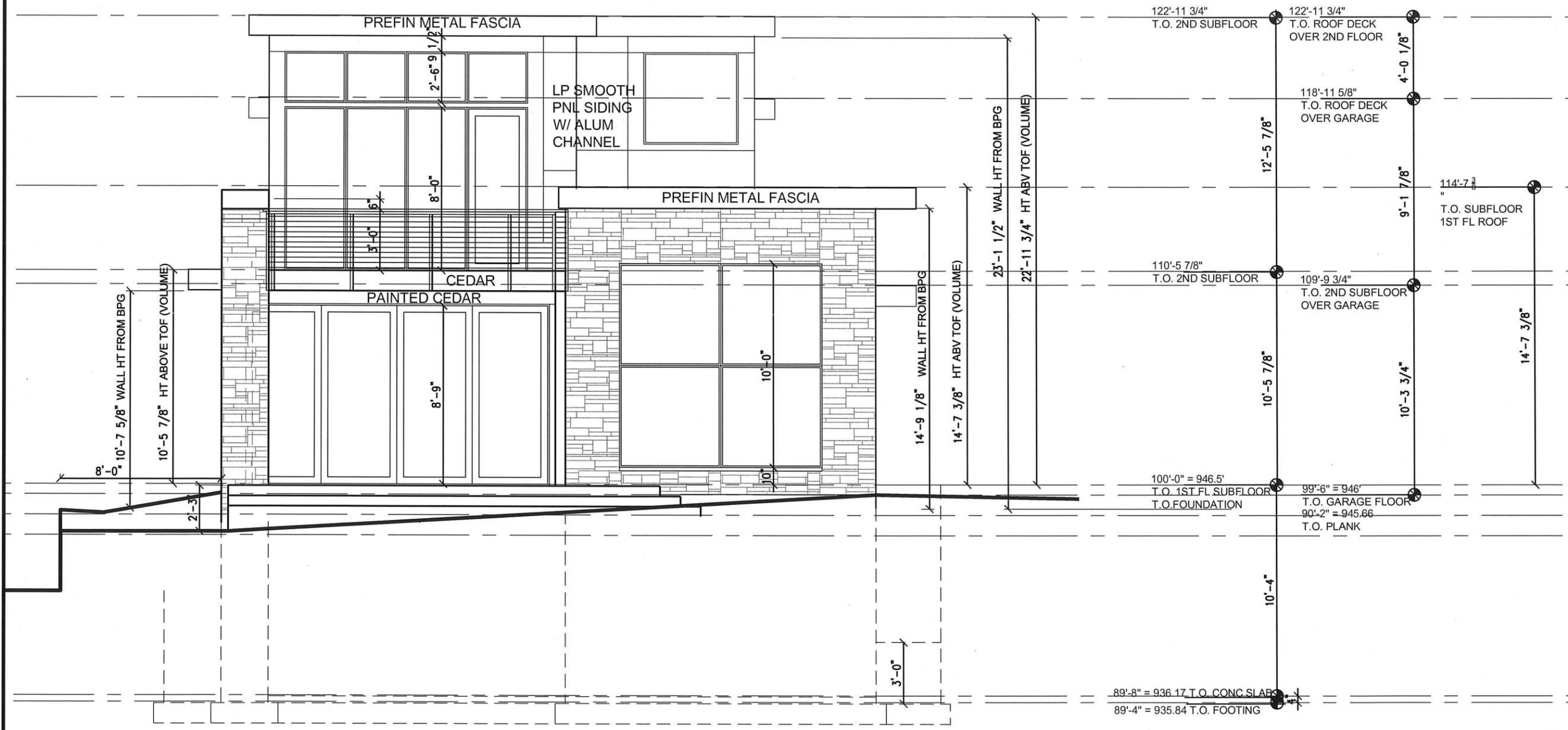
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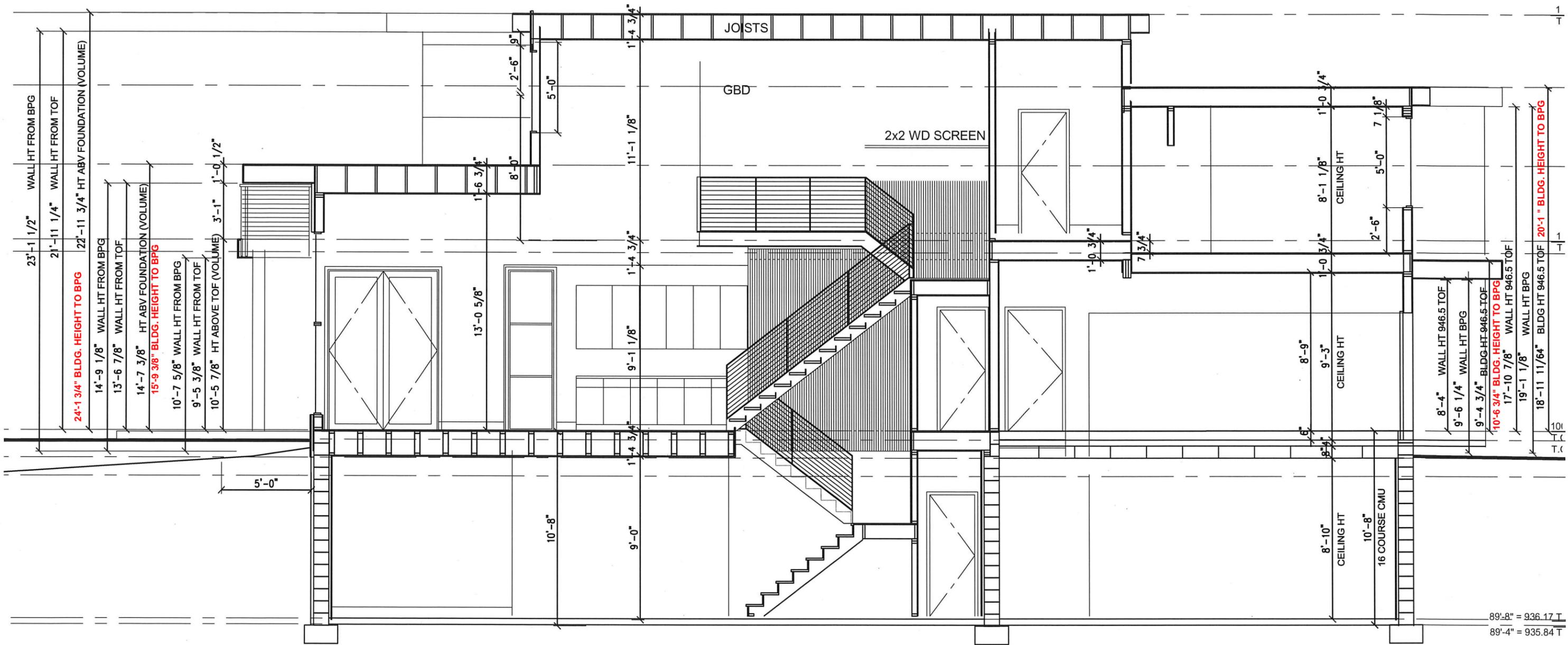
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EXPIRATION: JUNE 30, 2020

Sheet Number:

11



WEST ELEVATION  $\frac{3}{16}'' = 1'-0''$



EAST WEST SECTION FACING NORTH  $\frac{3}{16}'' = 1'-0''$

89'-8" = 936.17 T  
 89'-4" = 935.84 T

SIEVERS  
HOME

PRE-CONSTRUCTION SET

ADDRESS:  
5270 MEADVILLE STREET  
GREENWOOD MN 55331

Sheet Title:  
EAST WEST  
BUILDING SECTION

Date: Schematic January 16, 2019  
Updated October 14, 2019  
Updated February 20, 2020  
Updated May 8, 2020

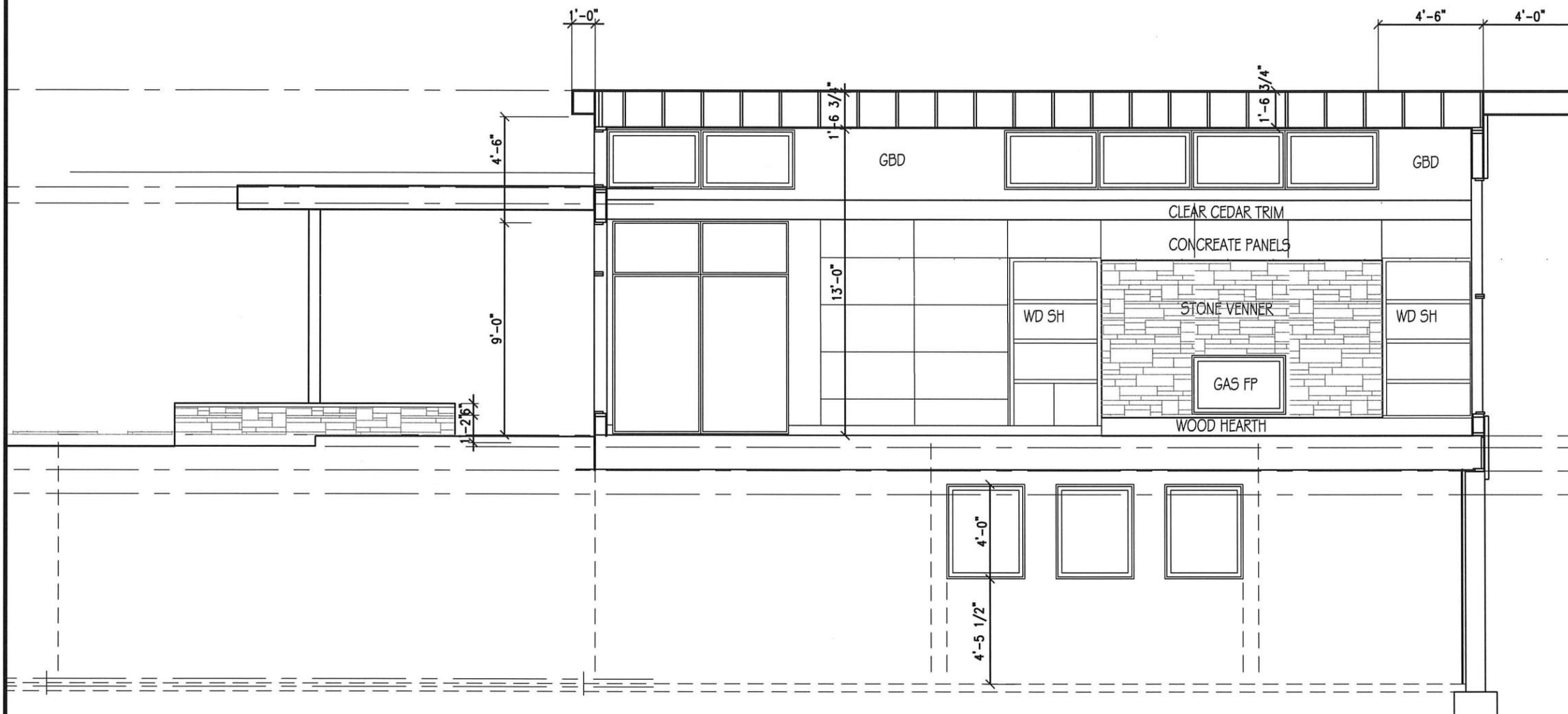
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EXPIRATION :JUNE 30, 2020

Sheet Number:

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EAST WEST SECTION FACING SOUTH  $\frac{3}{16}'' = 1'-0''$

Neighborhood Zoning Variance Study for Small Lots Note: numbers used for Kroenig and Jacobus based on information available through city minutes, as built informtion not available except Jacobus as built volume

Zoning ordinance	Kroening - 5260 Meadville Street				Jacobus - 5290 Meadville Street				Sievers - 5270 Meadville Street			
	Allowable	Actual	Difference	Approved variance or exception	Allowable	Actual	Difference	Approved variance or exception	Allowable	Actual	Difference	Variance Request
Lot area	6750	7234			6750	6080		6080	6750	7327		
Minimum lot width	45'	50'			45'	40'		40'	45'	50'		
Minimum lot depth												
Allowable Volume 6 x site area SF = CF	43,404	48,215	4,811	48,215	36,480	36,232 (As built )			43,962	41,008		
Floor plan min	verify				800 SF				800	1120+ garage 540		
House width minimum	25'	34'-8"			25'	30' + 2' at stair			25'	30' - 32'		
Front Set back	30'	2.4' verify	27.6	2.4' verify	30'	27.2' - 32.4'	2.8'	27.2' - 32.4'	30'	26' stepped	0'-4' step	26' -30' stepped
Side Set back	10'	7.1'north / 7.9' south	2.1', 2.9'	7.1'north / 7.9' south	8'	3.9'	4.1'	3.9'	10'	8' on north, 10' on south	2'	8' on south
Lakeshore Set back	50'	50'			50'	50'			50'	50'		
Building Height	28' to avg of gable	verify			28' to avg of gable	24.3'			28'	highest 24.2 from BPG		
Structure Height	42'				42'				42'			
Chimney	5' above structure height								5' above structure height			
Wall Height	1.5 x setback North 7.1' x 1.5 = 10.65' South 7.9' x1.5 = 11.85'	Verify		No variance was required	1.5 x setback North 3.9 x 1.5 = 5.85' South 3.9 a 1.5 = 5.85'			No variance was required	1.5 x setback North 8' x 1.5 = 12' North 10' x 1.5 = 15' South 10' x 1.5 = 15'	Wall height: 8' North setback = 10'-8" 10' North setback 19'1" 10' South setback 14'-9"		Verfiy if variance is required
Hardcover	for lots less than 10,000SF 40- (lot area SF x .001) = %								for lots less than 10,000SF 40- (lot area SF x .001) = %			
	32.766	43.12%	10.36%	43.12%	33.92	43.80%	9.90%	43.80%	32.67%	39.60%	6.93%	39.60%
	33%	43%		43%	34%	43.80%		43.80%	33%	40%		40%

