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Join Zoom Meeting

<https://us02web.zoom.us/j/88503651467?pwd=RWNMQ1ZjOU5UWlUvQXNVTEpSMIZ1QT09>

**AGENDA
GREENWOOD PLANNING COMMISSION**

Date: Wednesday, October 14, 2020
Location: Deephaven Council Chambers, 20225 Cottagewood Road
Time: 7:00 PM

1. CALL TO ORDER – ROLL CALL – APPROVE AGENDA
2. MINUTES OF REGULAR MEETING
 - a) September 9, 2020
3. PUBLIC HEARINGS
 - 3a. Consider the Conditional Use Permit request of Denae and Cory Martilla install a retaining wall four feet into the lake side setback at 21750 Byron Circle.**
4. OLD BUSINESS
5. NEW BUSINESS
6. LIAISON REPORT
7. ADJOURN

Next City Council Meeting – Wednesday, November 4, 2020
Next Planning Commission Meeting – Wednesday, November 11, 2020

Greenwood Planning Commission
Wednesday, September 9, 2020
7:00 P.M.

1. CALL TO ORDER/ROLL CALL

Chairman Lucking called the meeting to order at 7:00 p.m.

Members Present: Chairman Pat Lucking, Commissioners Kelsey Nelson, Julie Getchell and David Steingas

Members Absent: None

Others Present: Planning Director Patrick Smith and Council Liaison Kristi Conrad

2. MINUTES – Regular meeting of June 10, 2020 (July and August Planning Commission meetings were canceled).

Motion by Getchell to approve the minutes as written. Motion was seconded by Nelson. Motion carried 3-0.

3. PUBLIC HEARINGS

3a. Consider the conditional use permit and variance requests of James and Jessica Benning, 21915 Fairview Street, for a variance to exceed the maximum allowable construction-related tree removal, and a conditional use permit to regrade portions of the property in conjunction with the construction of a new house.

Smith presented the staff report. James and Jessica Benning, property owners, are proposing to construct a new house on vacant property located at 21915 Fairview Street and are requesting a variance to remove up to 35% of the total caliper inches of the significant trees located on site. The property is zoned R-1, is 19,545 square feet in area and is 106 feet wide.

There are 13 significant trees on the site with a total amount of 201 caliper inches. The applicants have already removed five of the significant trees (11" Black Hills Spruce, 31" White Oak, 13" Black Walnut, 7" Crabapple, 9" Black Walnut) for a total removal of 71 caliper inches, representing 35% of the caliper inches of significant trees. Any amount of significant trees removed over 20% requires a variance.

The applicants believe the 31" White Oak should not be considered significant because a portion of it was hollow (see attached photo). The City's forester states that a hollow tree does not mean the tree is not healthy, and when he saw the tree this past fall, the subject tree looked healthy judging by the amount of leaves on the tree (see attached letter).

The Zoning Ordinance permits property owners to remove two significant trees on an annual basis for a property of this size. Thus, the property owners are required to replace the other three trees that were removed (31" White Oak, 13" Black Walnut, and 9" Black Walnut). This results in five trees required to be replanted.

Chair Lucking opened the public hearing.

Dana Nelson, 5025 Meadville Street, asked about hardcover of the proposed development and the development to the north. Smith stated that both developments fall under the 30% maximum hardcover limit.

Todd Simning, Kroiss Development, addressed the Planning Commission.

James Benning, property owner, addressed the Planning Commission.

Commissioner Getchell asked what would happen if the applicant couldn't plant all the replacement trees on the site. Smith stated that if replacement trees could not be planted on site, then the property owners have the option of paying a fee in lieu of planting trees. The fee would then be used to plant trees in public property, along roads or in a park.

Chair Lucking stated that the Planning Commission is not deciding on a penalty but is focusing on the variance criteria for removing trees.

Chair Lucking closed the public hearing.

Smith stated that most developers know that they need city permission before removing trees.

Getchell believes that the staff recommendation is sound. Getchell moved to approve staff's recommendation. Nelson seconded the motion. Motioned passed 3/0. Chair Lucking stated that a minimum of five trees be replanted on the site. Getchell seconded. Amendment passed 3/0.

3b. Consider amending the zoning ordinance regarding Building Perimeter Grade, Building Wall Height and Planning Commission organization.

Chair Lucking introduced the proposed ordinance changes. Councilmember Conrad described the proposed wall height change. Councilmember Conrad explained why the Council is proposing to change the meeting date of the Planning Commission to be more flexible with the schedules of the Commission. Commission asked staff to look into having remote meetings.

Chair Lucking opened the public hearing. No one spoke. Chair Lucking closed the public hearing.

Council Getchell appreciates the proposed changes. Chair Lucking motioned to make the changes as proposed by the City Council. Getchell seconded. Motioned

passed 3-0. Councilmember Conrad voted to make a majority and will discuss the proposed changes with David Steingas and Kelsey Nelson.

4. OLD BUSINESS - None

5. NEW BUSINESS - None

6. LIAISON REPORT

Kristi Conrad provided a brief update on Council meetings including a discussion on lilac bushes at the Meadville fire lane. Conrad stated that the Fire Department would like to sign all fire lanes. Council is looking to install a traffic sign at the intersection of Meadville and the regional trail.

7. ADJOURN

Motion by Lucking to adjourn the meeting. Getchell seconded the motion. Motion carried 3-0. The meeting was adjourned at 8:43 p.m.

Respectively Submitted,
Patrick Smith
Planning Director



Agenda Item: Public Hearing to consider the conditional use permit requests of Cory and Denae Martilla to install a retaining wall within the lake yard setback.

Summary: Cory and Denae Martilla, property owners, are proposing to construct an addition to the north side of the existing house. The addition would have a green roof. The remodeling project also includes a deck on the lake side of the house. In addition, the applicants are proposing to remove the existing retaining walls that are located within the 50-foot lakeside setback, and replace them with a new retaining wall which will mostly be located outside of the 50-foot lakeside setback except for a 24-foot section on the south side of the property. A conditional use permit is required for the 24-foot section of the retaining wall that is proposed to be located within the 50-foot lakeside setback.

Conditional Use Permit

The existing timber retaining walls project 18 feet into the 50-foot lakeside setback, and are 24 feet wide, the same with as the retaining wall that is proposed to project 4 feet into the 50-foot lakeside setback. The proposed retaining walls will be two to four feet in height and made of stone. Section 1176.04, Subd. 7 of the zoning code states that retaining walls shall not be placed within the shore setback zone without a conditional use permit.

A series of steps and landings leads down towards the grassy area near the lake - 17 steps in total.

The applicants are also proposed to construct a 12' x 20' attached storage room addition projecting to the north of the home and mostly underground with a green roof. While the storage room will be attached, there is no internal connection between the storage room and the house. Section 1140.10, Subd. 3 states "if a primary accessory structure is attached or physically connected to the main principal structure by any means, it shall be deemed a part of the main principal structure and shall comply in all respects with the requirements of the zoning ordinance applicable to the principal structure."

Impervious Surface

The applicants' builder is showing an impervious area of 29.9%. Prior to any approval, staff would require survey to verify this percentage.

Building Height and Volume

The applicants' builder completed a building volume compliance form with calculations (attached). Based on the lot area of 22,917 square feet, a total volume allowed is 105,834 cubic feet. The proposed addition results in a building volume of 70,343 cubic feet.

The builder completed building height analysis (attached) to ensure the storage room did not result in the existing house to become non-complying with the maximum height limit. The building perimeter grade is 948.96. The average roof elevation of the tallest gable is 974.7. This results in a building height of 25.74 feet, which is under the maximum building height of 28 feet.

Tree Removal

The storage room requires the removal of three trees to the north of the dwelling (see attached tree removal plan). This includes a 10" spruce, a 10" maple and a 7" maple. This falls below the 20% threshold required for a variance.

CONDITIONAL USE PERMIT REVIEW CRITERIA

Section 1150.20 of the zoning code lists the conditions for the Planning Commission to review for a CUP application.

- a) The proposed use will comply with the regulations specified in this ordinance for the district in which the proposed use is to be located.
Staff Comment: This criteria does not apply since the retaining walls are not a “use” but a “structure” that are proposed to project into the lake side setback. The use is one of the conditional uses permitted for the R-1 zoning district.
- b) The use is one of the conditional uses permitted for the district in which it is to be located.
Staff Comment: Retaining walls may project into the required lake side setback with a conditional use permit.
- c) The use will not be detrimental to or endanger the public health, safety, comfort, convenience or general welfare of the neighborhood or city.
Staff comment: The proposed project will not be detrimental to the neighborhood. An escrow of \$4000 is recommended to be deposited with the City to ensure the project complies with the approved plans and does not become detrimental to the neighborhood.
- d) The proposed use will be harmonious with the objective(s) of the comp plan.
Staff comment: The proposed project improves the lake side setback by replacing non-conforming retaining wall with one that improves the situation by over 400%.
- e) The use will not be hazardous or disturbing to existing or future neighboring uses.
Staff comment: The bluff to the south will not be disturbed.
- f) The use will be served adequately by essential public facilities and services, including streets, police and fire protection, drainage structures, refuse disposal, sewer, schools, or will be served adequately by such facilities and services provided by the persons or agencies responsible for the establishment of the proposed use.
Staff comment: Not applicable because the retaining walls are a “structure” not a “use.”
- g) The use will not create excessive additional requirements at public cost for public facilities and services and will not be detrimental to the economic welfare of the community.
Staff comment: The proposed retaining walls will not be detrimental to the economic welfare of the community.
- h) The use will not involve uses, activities, processes, materials, equipment, and conditions of operation that will be detrimental to any persons, property or the general welfare because of excessive production of traffic, noise, smoke, fumes, glare or odors.
Staff comment: The removal of the existing retaining walls and the installation of the proposed retaining wall will not create any excessive traffic, noise, smoke, fumes, glare or odors.
- i) The use will have vehicular approaches to the property that do not create traffic congestion or interfere with traffic on surrounding public thoroughfares.
Staff comment: Not applicable.
- j) The use will not result in the destruction, loss or damage of a natural, scenic or historic feature of major importance.
Staff comment: the proposed retaining wall will not damage a natural, scenic or historic feature of major importance.

k) The use will not depreciate surrounding property values.

Staff comment: the proposed retaining wall will improve the site and should not depreciate the surrounding property values.

PUBLIC COMMENT

Staff sent a public notice to all property owners within 350 feet of the subject site prior to the Planning Commission meeting of October 14, 2020. No comments had been received by the time the Planning Commission packet was sent out on October 9, 2020.

STAFF RECOMMENDATION

The existing retaining walls project 18 feet into the lake setback. The proposed retaining wall would project four feet into the lake setback. Both existing and proposed retaining walls that project into the lake setback are about 24 feet in length. Therefore, the proposed project will be an improvement to the existing conditions. Staff recommends approval of the conditional use permit request of Cory and Denae Martilla to install retaining walls within the lake yard setback and to regrade the side yard area of the property located at 21750 Byron Circle, as proposed subject to the following conditions:

- 1) Prior to the issuance of a building permit, the applicants submit a survey verifying the proposed hardcover is less than 30%.
- 2) Submit a \$5000 escrow to ensure the retaining walls are constructed according to plans.

Attachments:

- 1) Location Map
- 2) Aerial Photo
- 3) Existing Site Photos
- 4) Existing Conditions Map
- 5) Site Demolition Plan
- 6) Proposed Site Plan
- 7) Grading Plan
- 8) Landscaping Plan
- 9) Elevations
- 10) Building Plans
- 11) Building Volume Calculations
- 12) Building Height Calculations
- 13) Tree Removal Plan
- 14) City Engineer Comments

Key Dates:

Application complete:	September 18, 2020
Notice of Public Hearing published:	October 1, 2020
Planning Commission Public Hearing:	October 14, 2020
City Council Consideration:	November 4, 2020
60-Day Deadline:	November 17, 2020
120-Day Deadline:	January 16, 2020

LOCATION MAP

21750 Byron Circle



Property owner: Cory and Denae Martilla
Request for Conditional Use Permit and Variance
Property address: 21750 Byron Circle, Greenwood, MN 55331

September 14, 2020

Mr. and Mrs. Martilla have owned this home since June of 2017

While they have their primary residence in Texas, where Mr. Martilla works, the family spends summers here in their home on St. Albans Bay of Lake Minnetonka. They are originally from the Twin Cities and still call it home.

After living in the home over the last couple years the Marilla's have decided to make a major investment in the property to upgrade the house and outdoor spaces for better lake access, sustainability and aesthetic appeal.

The plans are to remodel the interior of the home and to replace a lake facing 10'x20' Sunroom with a new 17'x20' Sunroom. After removing about 551 square feet of at grade walk out level wood deck, we will construct 520 sf of elevated wood deck off the main level. An additional plan is to add a 12'x20' attached storage room addition projecting to the North of the home and mostly under ground with a green roof.

All the work to remodel and add on to the house fits for standard building permits. No variances needed there.

There is one 26' long by 4' tall stone retaining wall extending less than 4' into the 50' lakeshore setback that we are requesting a variance for. Our plan is to build another 105 combined lineal feet of 2'-4' tall stone retaining walls outside the 50' lakeshore setback after removing 160 lineal feet of wood retaining wall, 115' of which encroaches into the 50' lakeshore setback. The modifications to the grading is the reason we are requesting a CUP.

Attached are the drawing showing the existing conditions of wood timber retaining walls and wood deck levels terracing down the slope toward the lake shore. Also are attached the plans showing the new concept for new stone retaining walls mostly behind the 50' lake shore setback, these retaining walls will be mostly 4' or less in height and as mentioned constructed from stone. The walls will allow for more flat grass terraces in lieu of the current wooden deck level platforms.

Additionally, the non-conforming existing concrete block retaining wall at the bottom of the slope, and the concrete trough river feature meandering down the hill will be eliminated. Added, will be a set of stone steps that meander down the hill side for direct access to the boat dock from the house.

The Marilla's also have a need for wood chip trail access, wide enough for a small utility vehicle, from Byron Circle on the West of the property to the lower level house storage and on to the lakeshore lawn area. They have a parent with serious heart condition that can't handle stairs. Last year they experienced a dock side emergency incident where they had to evacuate a large man via Sheriff boat rescue because there was no way to get him to the street. The access also is needed for access to construct the project. This access will be available to the neighbors use as well should they need and request its use.

Considering the impact for the hill side inside the 50' lakeshore setback here are the following changes:

Eliminate

- 115 lf. wood retaining walls
- 155 sf. wood steps, decking, landings.
- 55 lf, stone/ concrete river trough.
- 15 lf. Concrete block retaining wall.

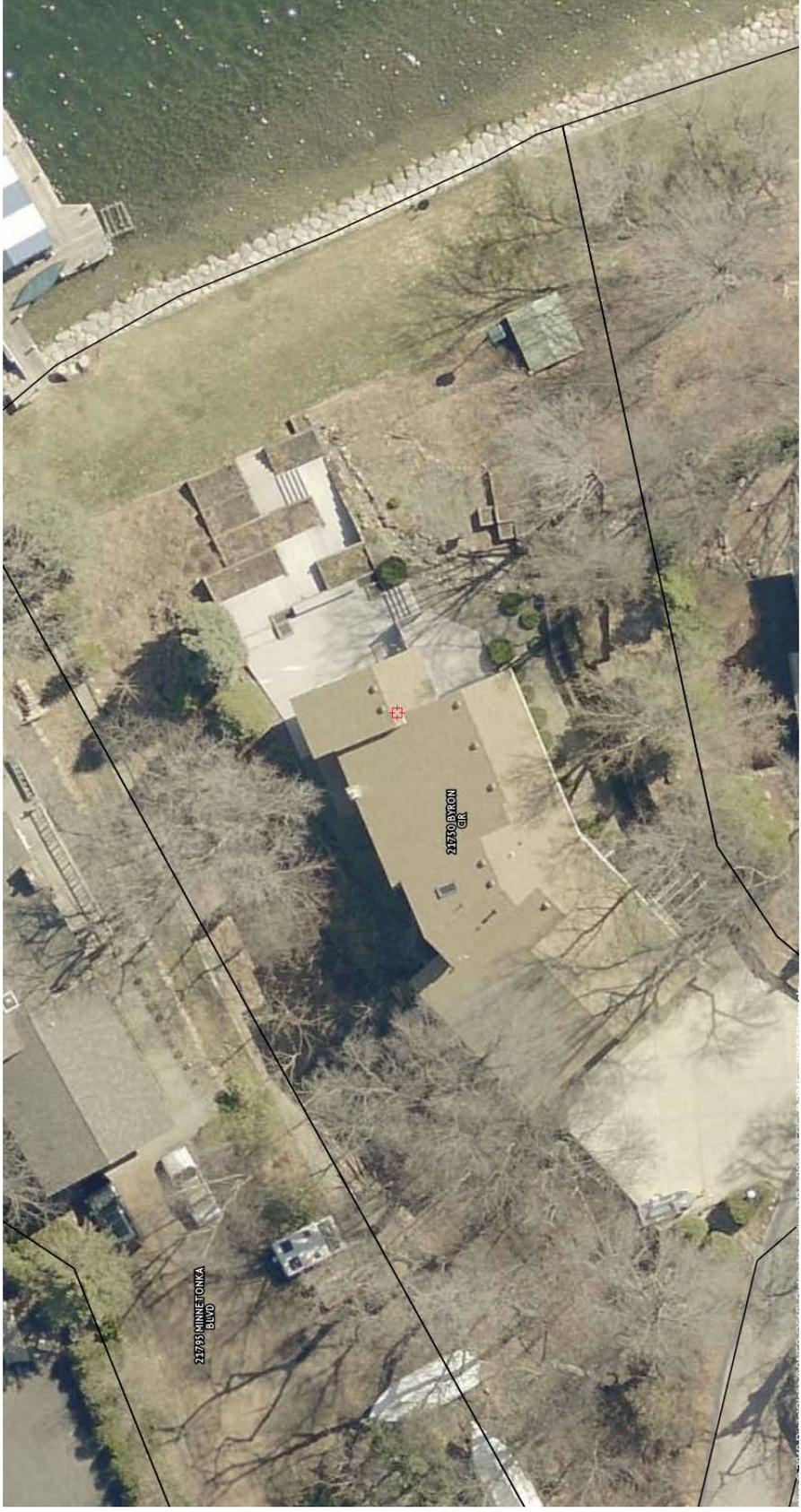
Added

- 26 lf of 4' high stone retaining wall .
- 150 sf. of stone steps .

Thank you for considering our CUP request.

Respectfully submitted

John Boyer, Boyer Building Corporation on behalf of Cory and Denae Martilla.









CERTIFICATE OF SURVEY

LEGAL DESCRIPTION:

That part of Lot 18, Solberg's Point, that lies northwesterly of the following described line:

Commencing at the most westerly corner of said Lot 18; thence on an assumed bearing of South 43 degrees 16 minutes 00 seconds East along the easterly line of said Lot 18, a distance of 115 feet to the point of beginning of the line to be described; thence North 37 degrees 39 minutes 59 seconds East a distance of 54.38 feet; thence North 75 degrees 38 minutes 41 seconds East a distance of 133 feet more or less to the shoreline of Lake Minnetonka and there terminating, EXCEPT the remaining 7 feet interest.

ALSO: That part of Lot 18A, Auditor's Subdivision Number 141, which lies Southeast of the Southwesterly extension of the Southeast line of the Northwest 7 feet of Lot 18, Solberg's Point.

That part of Lot 19, Solberg's Point, described as follows:

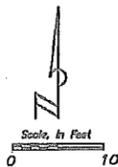
Commencing at the most westerly corner of said Lot 19; thence on an assumed bearing of South 43 degrees 16 minutes East, along the southwesterly line of said Lot 19, a distance of 115.00 feet; thence North 37 degrees 39 minutes 59 seconds East, a distance of 8.83 feet to the point of beginning of the land to be described; thence South 43 degrees 39 minutes 04 seconds East, a distance of 3.80 feet; thence North 20 degrees 21 minutes 44 seconds East, a distance of 11.62 feet; thence South 37 degrees 38 minutes 58 seconds West, a distance of 11.48 feet to the point of beginning.

and

That part of Lot 18, Solberg's Point described as follows: Commencing at the most westerly corner of said Lot 18; thence on an assumed bearing of South 43 degrees 16 minutes East, along the southwesterly line of said Lot 18, a distance of 115.00 feet; thence North 37 degrees 39 minutes 59 seconds East, a distance of 8.83 feet; thence North 37 degrees 39 minutes 04 seconds East, continuing on the last described course, a distance of 133.33 feet to the point of beginning of the land to be described; thence North 44 degrees 12 minutes 24 seconds East, a distance of 18.89 feet; thence South 75 degrees 38 minutes 41 seconds West, a distance of 8.11 feet; thence South 37 degrees 39 minutes 04 seconds West a distance of 11.69 feet to the point of beginning, Hennepin County, Minnesota.

HARDCOVER CALCULATIONS:

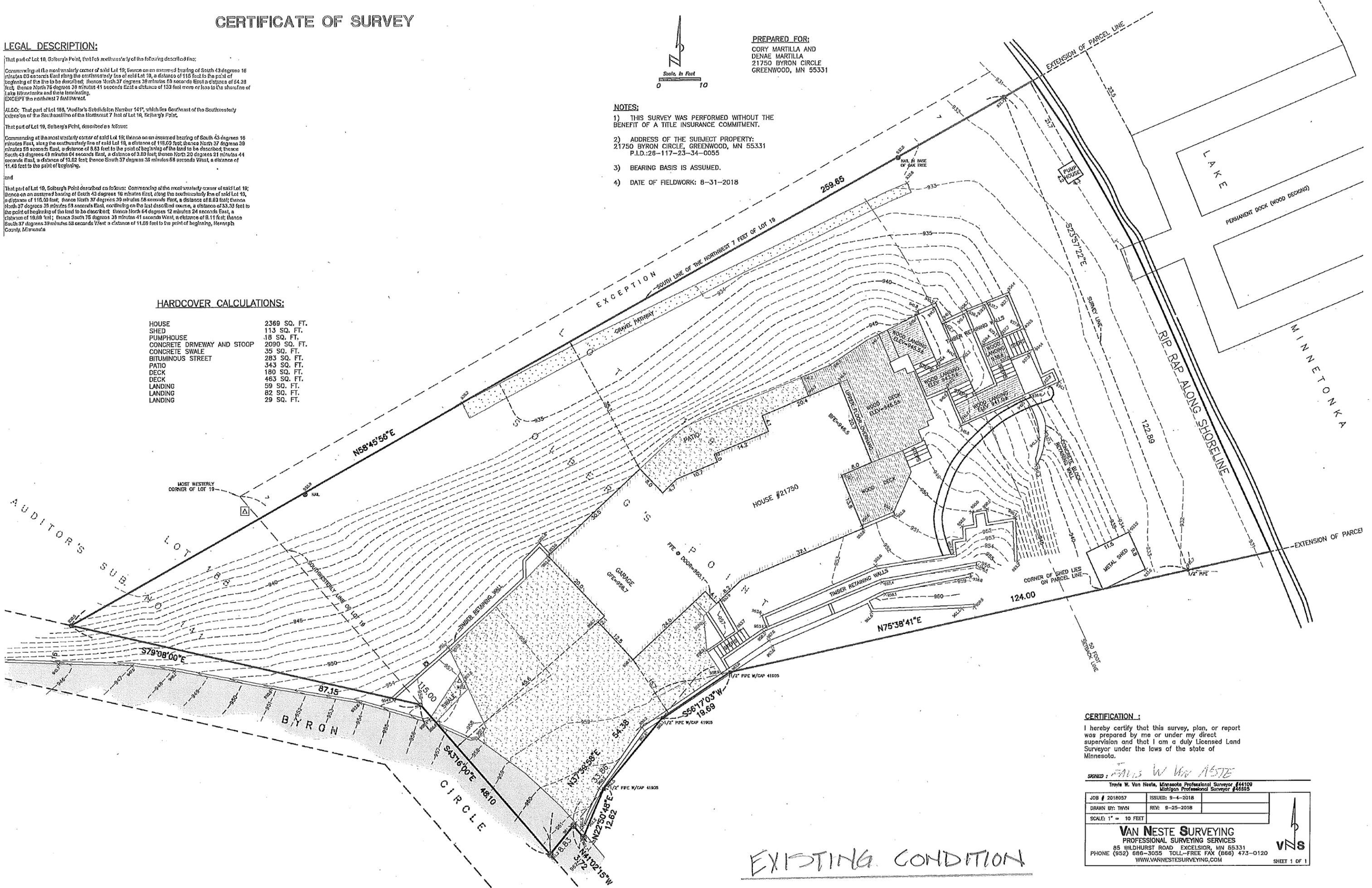
HOUSE	2369 SQ. FT.
SHED	113 SQ. FT.
PUMPHOUSE	18 SQ. FT.
CONCRETE DRIVEWAY AND STOOP	2090 SQ. FT.
CONCRETE SWALE	35 SQ. FT.
BITUMINOUS STREET	283 SQ. FT.
PATIO	343 SQ. FT.
DECK	180 SQ. FT.
DECK	463 SQ. FT.
LANDING	59 SQ. FT.
LANDING	82 SQ. FT.
LANDING	29 SQ. FT.



PREPARED FOR:
CORY MARTILLA AND
DENAE MARTILLA
21750 BYRON CIRCLE
GREENWOOD, MN 55331

NOTES:

- 1) THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE INSURANCE COMMITMENT.
- 2) ADDRESS OF THE SUBJECT PROPERTY:
21750 BYRON CIRCLE, GREENWOOD, MN 55331
P.I.D.:26-117-23-34-0055
- 3) BEARING BASIS IS ASSUMED.
- 4) DATE OF FIELDWORK: 8-31-2018



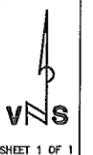
CERTIFICATION:

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the state of Minnesota.

SIGNED: *Troy W. Van Neste*
Troy W. Van Neste, Minnesota Professional Surveyor #44109
Michigan Professional Surveyor #46895

JOB # 2018057	ISSUED: 9-4-2018
DRAWN BY: TAWN	REV: 8-25-2018
SCALE: 1" = 10 FEET	

VAN NESTE SURVEYING
PROFESSIONAL SURVEYING SERVICES
85 WILDHURST ROAD EXCELSIOR, MN 55331
PHONE (952) 686-3055 TOLL-FREE FAX (866) 473-0120
WWW.VANNESTESURVEYING.COM



ARCHITECT:
MADDEN ARCHITECTS
 2203 Como Avenue
 Saint Paul, MN 55108
 TEL (651) 328-4571
 WHMADDEN@GMAIL.COM

BUILDER:
BOYER CORPORATION
 3435 County Road 101
 Minnetonka, MN 55345
 www.boyerbuilding.com
 Lic #: BC002988

STRUCTURAL ENGINEER:
KOMA
 2051 Killebrew Drive
 Suite 680
 Bloomington, MN 66525
 Matt Van Hoof, P.E.
 651-789-4129
 mvanhoofkomainc.com

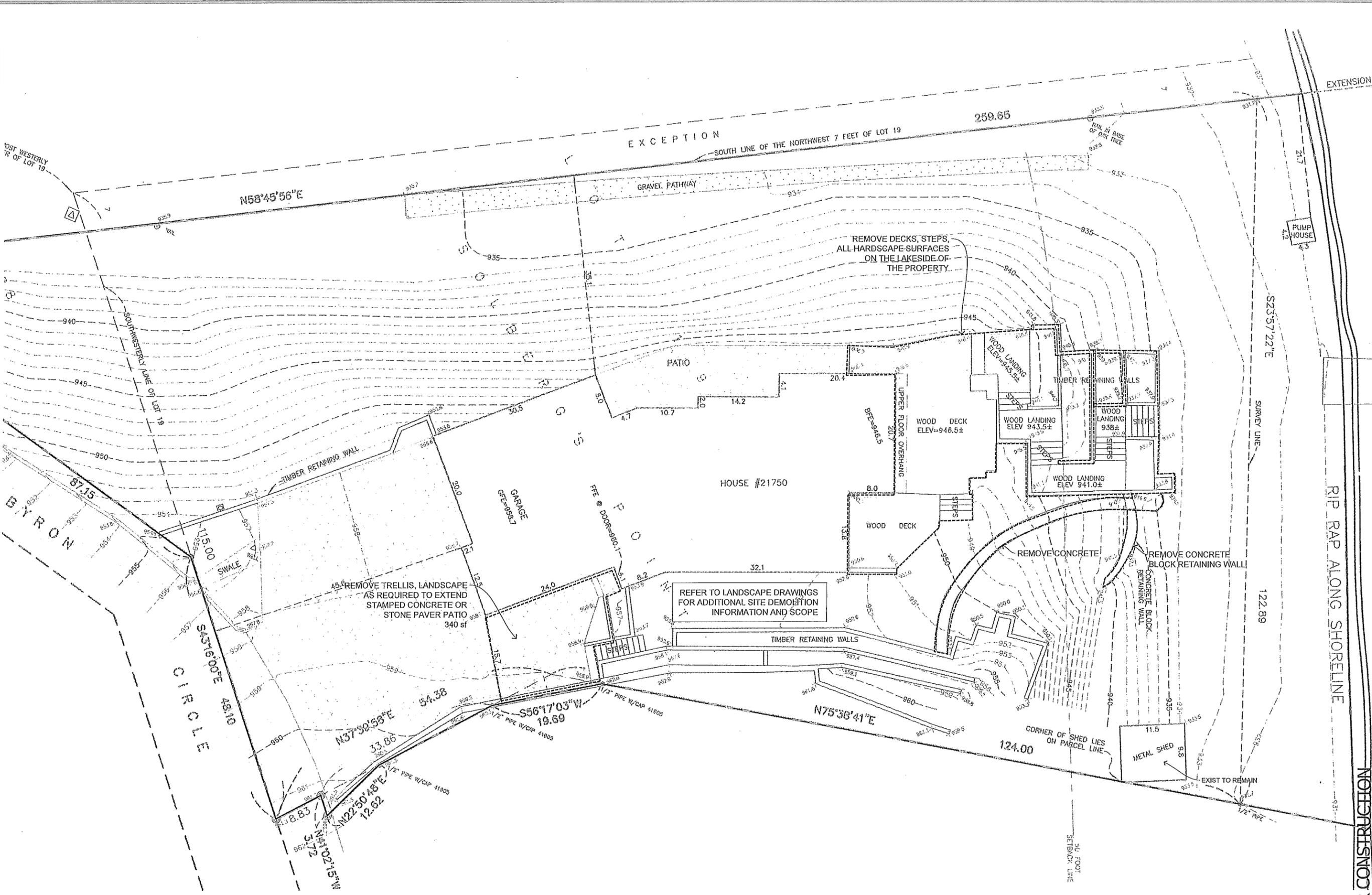
Martilla Residence
 21750 Byron Circle
 Greenwood, MN

SCOPE OF PROJECT:
 REMODEL & ADDITION
 PROJECT NUMBER:
 2020_Martilla
 PROJECT PHASE:
 PLANNING COMMISSION
 ISSUE DATE:
 9/16/2020
 SCALE:
 AS NOTED

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A duly REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

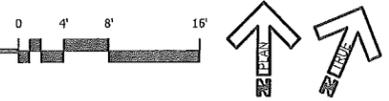
SIGNATURE:
 DATE:
 REGISTRATION NUMBER:
 SHEET TITLE:
 EXISTING SITE PLAN

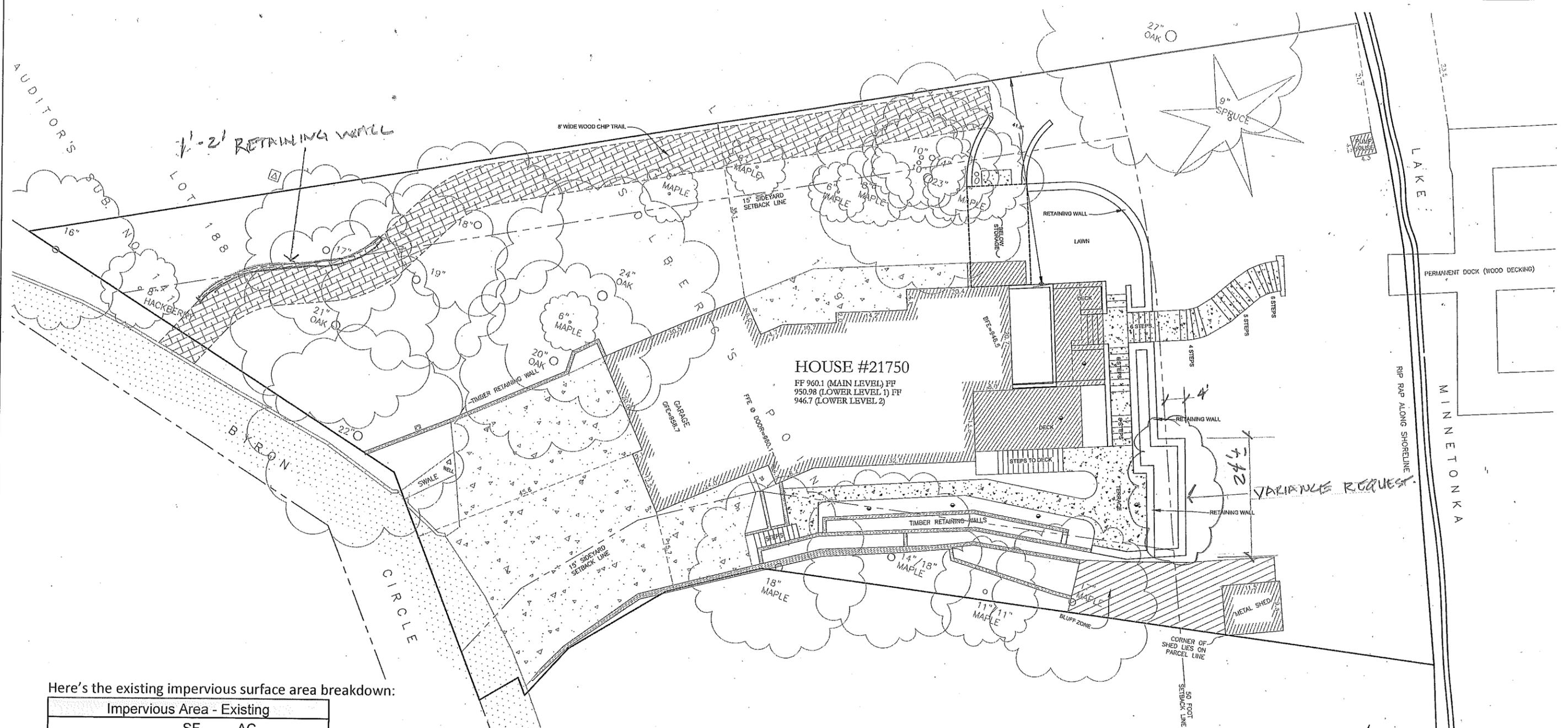
SHEET NUMBER:
A1.0



NOT FOR CONSTRUCTION

EXISTING SITE PLAN - SITE DEMO PLAN
 1/8"=1'-0" (@ FULL SIZE 22"x34") & 1/16"=1'-0" (@ HALF SIZE 11"x17")





Here's the existing impervious surface area breakdown:

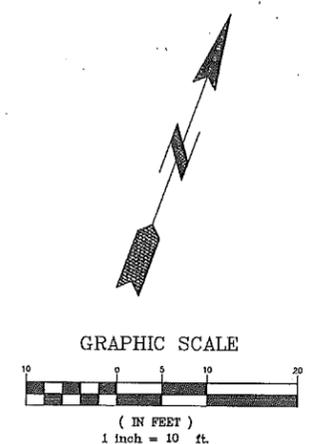
Impervious Area - Existing		
	SF	AC
Building	2,500	29.0%
Bit & Gravel	641	
Concrete	2,468	
Deck	1,031	
Green	16,277	
Total lot area	22,917	0.526

And here's the proposed impervious surface area breakdown:

Impervious Area - Proposed		
	SF	AC
Building	2,679	29.9%
Bit & Gravel	276	
Concrete	3,295	
Deck	596	
Green	16,071	
Total lot area	22,917	0.526

NOTES:

1. BASE PLAN USED IS A SURVEY PREPARED BY VAN NESTE SURVEYING.
2. ALL EXISTING UTILITY LOCATIONS AND ELEVATIONS SHOWN ARE APPROXIMATE ONLY. CONTRACTOR SHALL CONFIRM ALL LOCATIONS AND ELEVATIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CONTACT UTILITY COMPANIES VIA GOPHER STATE ONE-CALL ONLINE OR BY CALLING 811 OR 1-800-252-1166.
3. ALL CONSTRUCTION SHALL CONFORM TO THE MOST RESTRICTIVE OF THE PROJECT SPECIFICATIONS, THE STANDARD SPECIFICATIONS OF THE CITY OF GREENWOOD AND THE LATEST EDITION OF MNDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION.
4. TOTAL LOT AREA = 22,917 SF (0.53 ACRES)
EXISTING IMPERVIOUS SURFACE AREA = 6,640 SF (29.0%)
PROPOSED IMPERVIOUS SURFACE AREA = 6,846 SF (29.9%)
5. PER THE PROJECT ARCHITECT, ABOVE GRADE BUILDING VOLUME IS LESS THAN 85,000 CF.



PROPOSED SITE PLAN

**REVIEW PLAN
NOT FOR CONSTRUCTION**

www.starkengineer.com
320-249-2611
Sauk Rapids, Minnesota

STARKS ENGINEERING

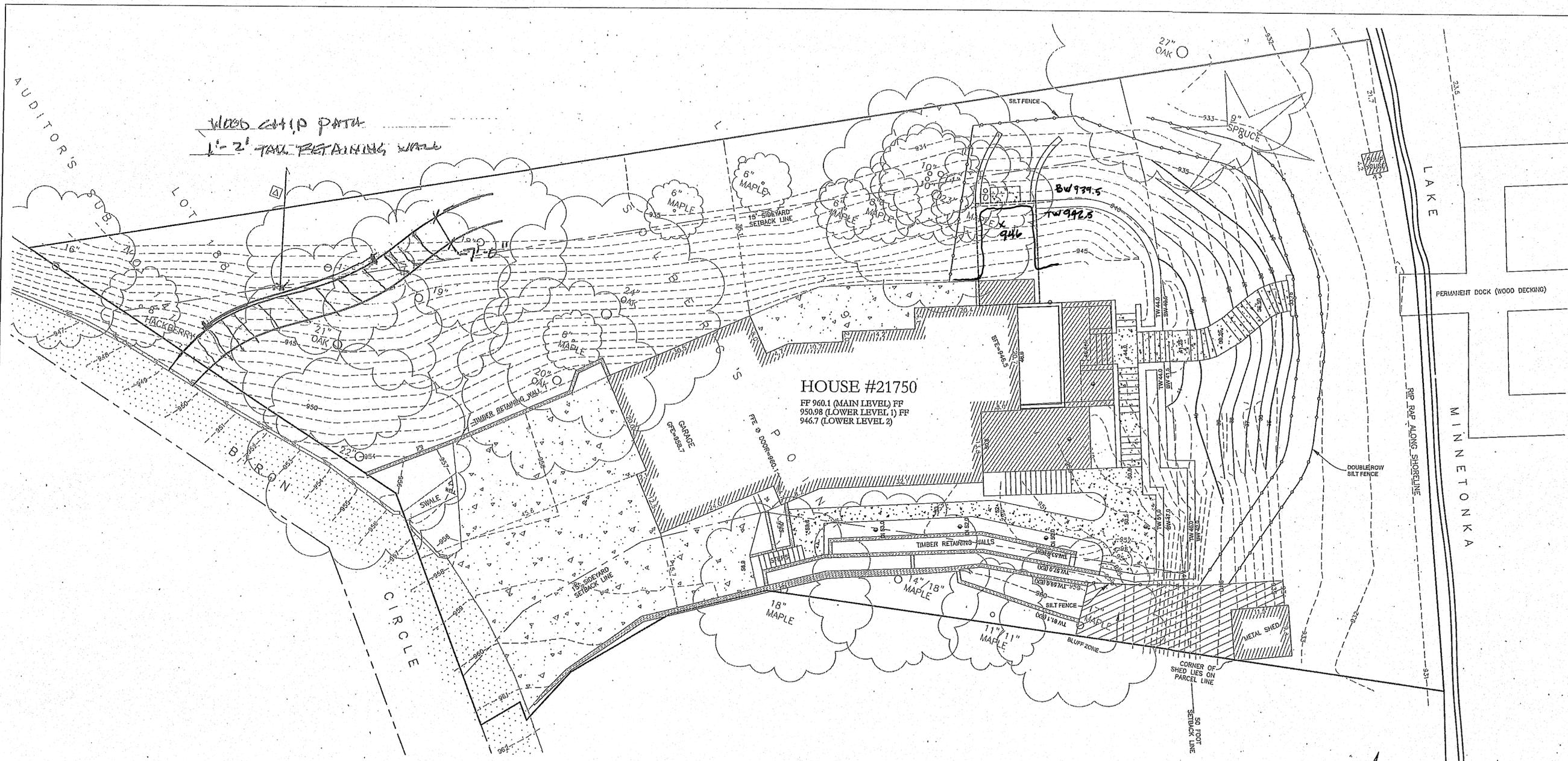
9/15/20 26093
Date Registration No.
Wayne C.B. Stark

REVISIONS	DATE	BY	DESCRIPTION
9/15/20 PER OWNER			

SITE & UTILITY PLAN

MARTILLA RESIDENCE
GREEN WOOD, MINNESOTA
for:
PRECISION BUILDERS

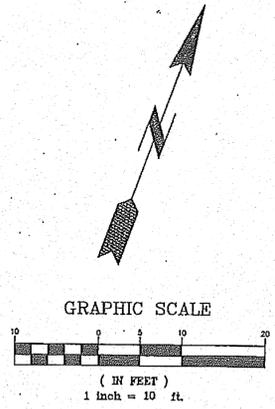
SHEET
C-1
OF 2 SHEETS



HOUSE #21750
 FF 960.1 (MAIN LEVEL) FF
 950.98 (LOWER LEVEL 1) FF
 946.7 (LOWER LEVEL 2)

NOTES:

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3. ALL CONSTRUCTION SHALL CONFORM TO THE MOST RESTRICTIVE OF THE PROJECT SPECIFICATIONS, THE STANDARD SPECIFICATIONS OF THE CITY OF GREENWOOD AND THE LATEST EDITION OF MNDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION.
4. EXISTING BLUFF ZONE DETERMINED BASED ON CITY OF GREENWOOD DEFINITIONS AND NON-MODIFIED SLOPES ON THE PROJECT SITE. SLOPES DISTURBED BY EXISTING RETAINING WALLS HAVE BEEN EXCLUDED FROM THE BLUFF ZONE.
5. THE FOLLOWING SEQUENCE AND PROTOCOLS SHALL BE FOLLOWED FOR EROSION AND SEDIMENT CONTROL DURING THE SITE DEVELOPMENT PROCESS:
 - A. INSTALL PERIMETER CONTROLS (SILT FENCE) AS SHOWN ON THE PLANS PRIOR TO START OF WORK.
 - B. NO CONCRETE WASHOUTS ARE ALLOWED ON THE PROJECT SITE. SOIL STOCKPILES SHALL HAVE PERIMETER CONTROL AND HAVE TEMPORARY SEED AND MULCH.
 - C. MAINTAIN ALL TEMPORARY EROSION CONTROL DEVICES IN PLACE UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED. INSPECT TEMPORARY EROSION CONTROL DEVICES ON A WEEKLY BASIS AND AFTER EACH 1/2" OR MORE RAIN EVENT. CLEAN OR MAINTAIN THESE DEVICES AS NEEDED TO BE EFFECTIVE. REPLACE DETERIORATED, DAMAGED OR ROTTED EROSION CONTROL DEVICES IMMEDIATELY.
 - D. REMOVE ALL SOILS AND SEDIMENTS DEPOSITED ONTO PUBLIC AND/OR PRIVATE PAVEMENT AREAS WITHIN 24 HOURS OF DEPOSITION. REMOVAL OF TRACKING MATERIALS SHALL BE COMPLETED AT THE END OF EACH WORK DAY WHEN IT OCCURS. SWEEPING MAY BE ORDERED AT ANY TIME IF CONDITIONS WARRANT.
 - E. PERFORM SITE REMOVALS, GRADING, EXCAVATION AND EMBANKMENT. SEED AND MULCH ALL DISTURBED AREAS OUTSIDE OF PROPOSED RETAINING WALL, CONCRETE PAVEMENT, PAVERS, DECKING AND BUILDING AREAS WITHIN 72 HOURS OF THIS WORK.
 - F. INSTALL UTILITIES, PAVERS, RETAINING WALL AND CONCRETE PAVEMENT SECTION. FINE GRADE SITE AND RESTORE GREEN AREAS WITH PERMANENT VEGETATION PER PLANS.
 - G. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER SITE HAS UNDERGONE FINAL STABILIZATION AND PERMANENT VEGETATION HAS BEEN ESTABLISHED WITH AT LEAST 70% COVERAGE.



PROPOSED GRADING PLAN

**REVIEW PLAN
 NOT FOR CONSTRUCTION**

www.starkengineer.com
 320-249-2611
 Sauk Rapids, Minnesota

STARKS ENGINEERING

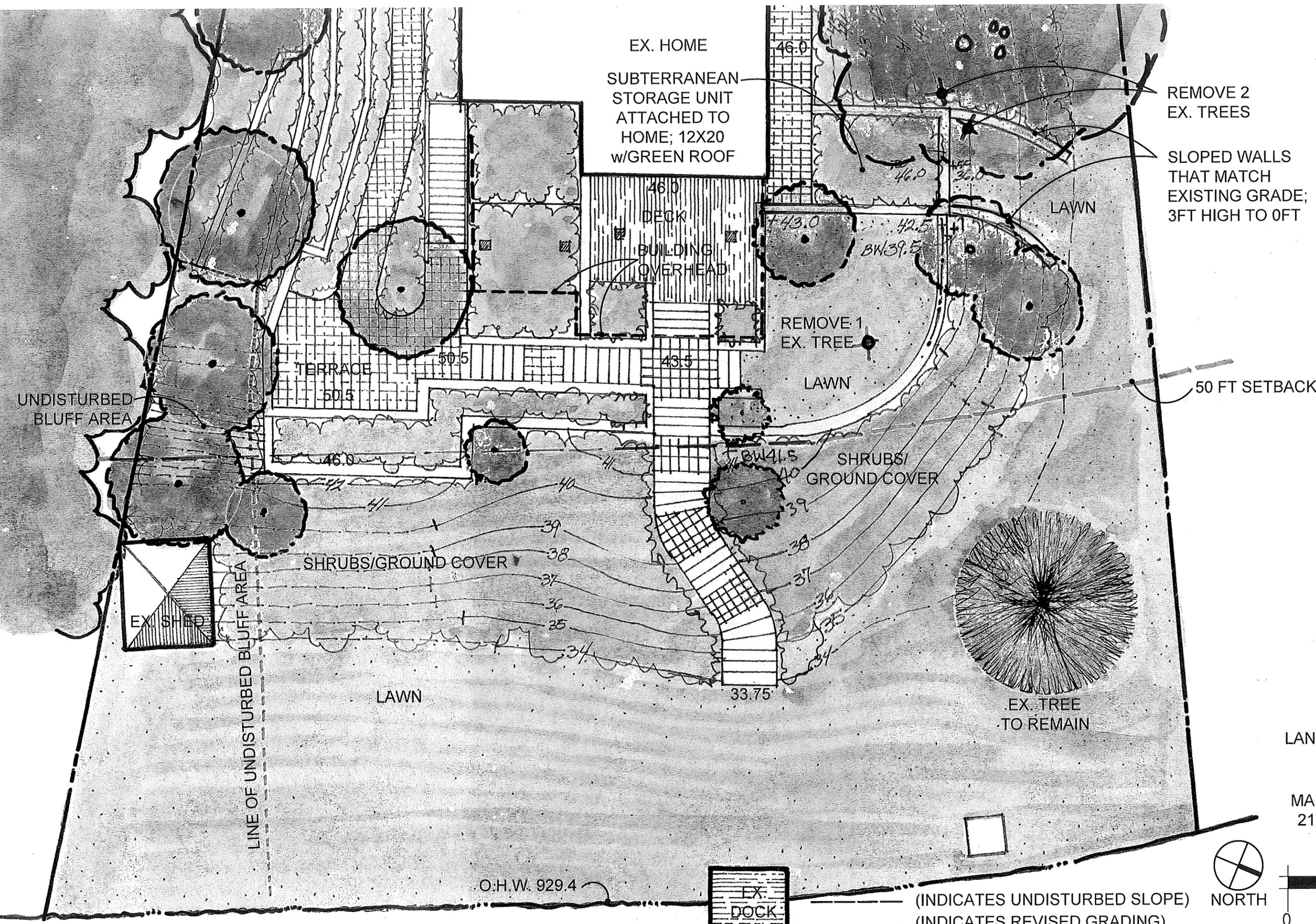
Wayne C.E. Stark Date: 9/15/20 Registration No. 28083

REVISIONS	
DATE	DESCRIPTION
1/22/20	CITY REVIEW
9/15/20	PER OWNER

GRADING & EROSION CONTROL PLAN

MARTILLA RESIDENCE
 GREEN WOOD, MINNESOTA
 for:
 PRECISION BUILDERS

SHEET
C-2
 OF 2 SHEETS



9/15/2020

LANDSCAPE SITE PLAN
AT LAKE FRONT

MARTILLA RESIDENCE
21750 BYRON CIRCLE
GREENWOOD, MN



ARCHITECT:
MADDEN ARCHITECTS
 2203 Como Avenue
 Saint Paul, MN 55108
 TEL (651) 328-4571
 WHMADDEN@GMAIL.COM

BUILDER:
BOYER CORPORATION
 3435 County Road 101
 Minnetonka, MN 55345
 www.boyerbuilding.com
 Lic #: BC002988

STRUCTURAL ENGINEER:
KOMA
 2051 Killebrew Drive
 Suite 680
 Bloomington, MN 66525
 Matt Van Hoof, P.E.
 651-789-4129
 mvanhoofkoma.com

Martilla Residence
 21750 Byron Circle
 Greenwood, MN

SCOPE OF PROJECT:
 REMODEL & ADDITION
 PROJECT NUMBER:
 2020_Martilla
 PROJECT PHASE:
 PLANNING COMMISSION
 ISSUE DATE:
 9/16/2020
 SCALE:
 AS NOTED

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE:
 DATE:
 REGISTRATION NUMBER:

SHEET TITLE:
 EXISTING ELEVATIONS
 DEMOLITION

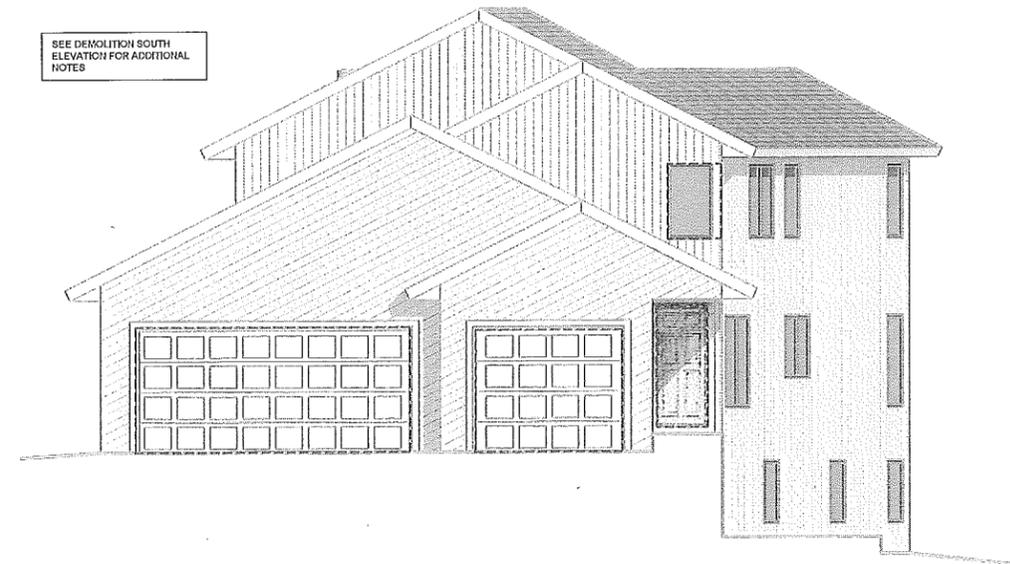
SHEET NUMBER:

A2.4



SOUTH ELEVATION - EXISTING - DEMOLITION

3/16"=1'-0" (@ FULL SIZE 22"X34") & 3/32"=1'-0" (@ HALF SIZE 11"X17")



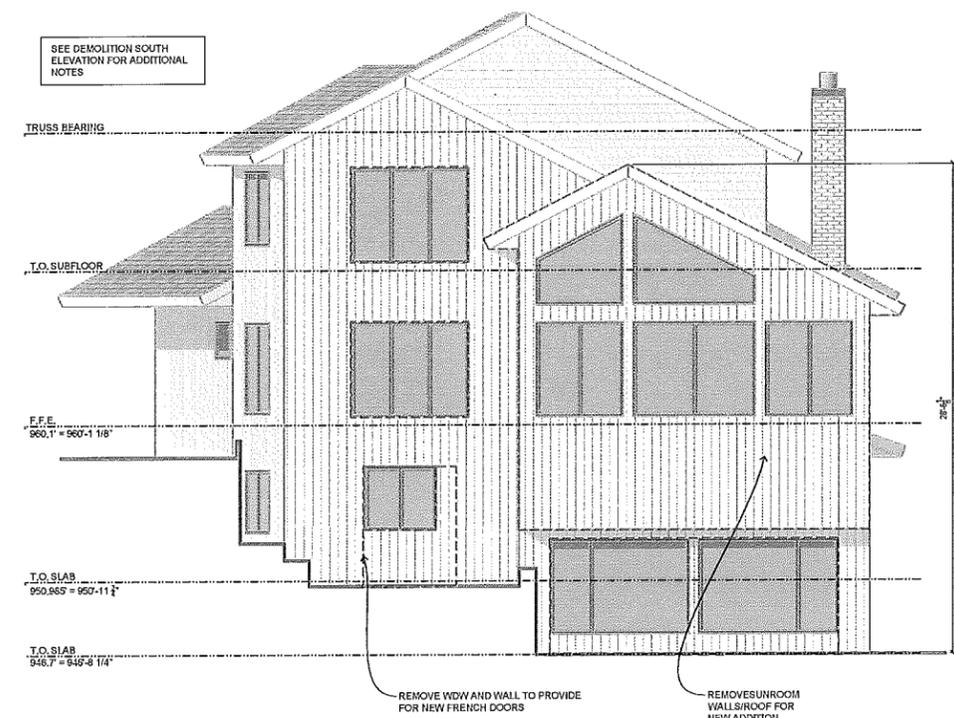
WEST ELEVATION - EXISTING - DEMOLITION

3/16"=1'-0" (@ FULL SIZE 22"X34") & 3/32"=1'-0" (@ HALF SIZE 11"X17")



NORTH ELEVATION - EXISTING - DEMOLITION

3/16"=1'-0" (@ FULL SIZE 22"X34") & 3/32"=1'-0" (@ HALF SIZE 11"X17")



EAST ELEVATION - EXISTING - DEMOLITION

3/16"=1'-0" (@ FULL SIZE 22"X34") & 3/32"=1'-0" (@ HALF SIZE 11"X17")

NOT FOR CONSTRUCTION

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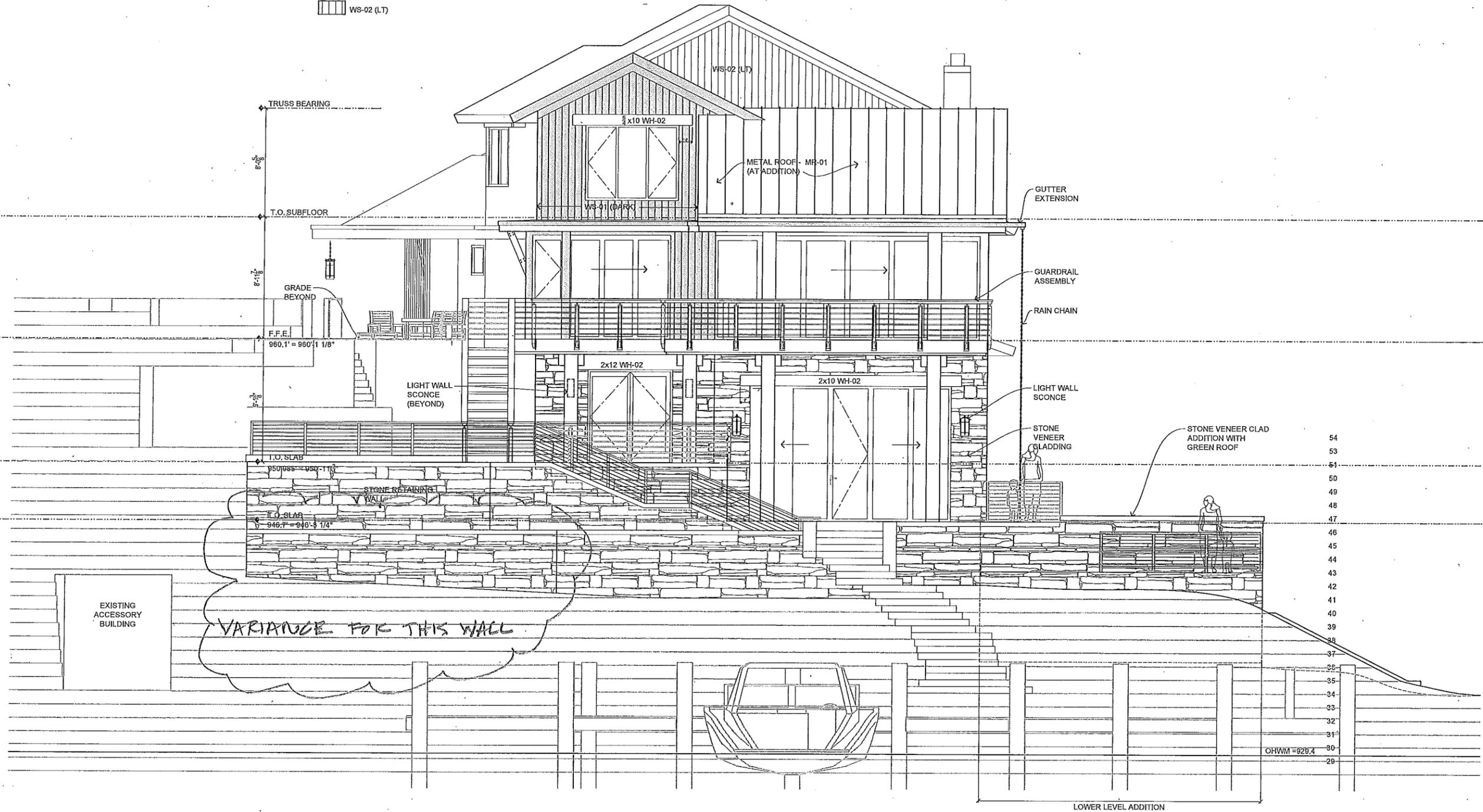
SIGNATURE:
 NAME:
 DATE:
 EXPIRATION NUMBER:

SHEET TITLE:
 EAST (LAKE) ELEVATION

SHEET NUMBER:

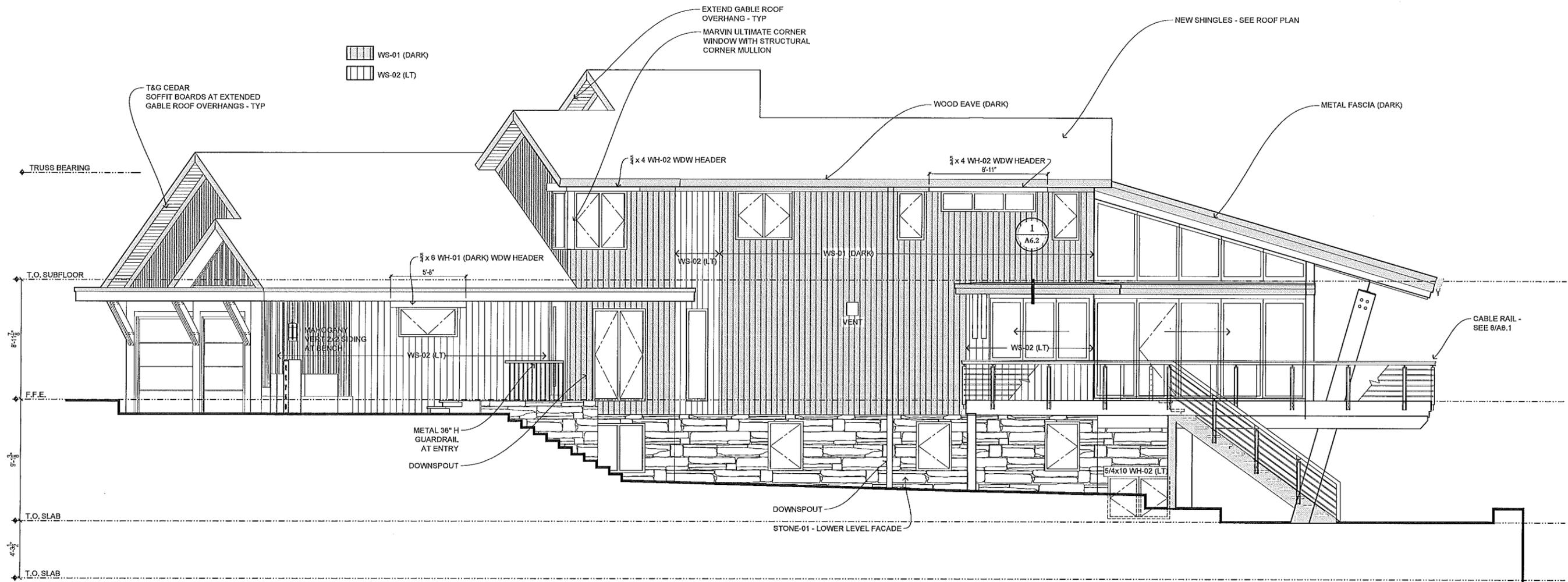
A4.2

WS-01 (DARK)
 WS-02 (LT)



NOT FOR CONSTRUCTION

1 EAST (LAKE) ELEVATION (PROPOSED)
 1/4"=1'-0" (@ FULL SIZE 22"X34") & 1/8"=1'-0" (@ HALF SIZE 11"X17")



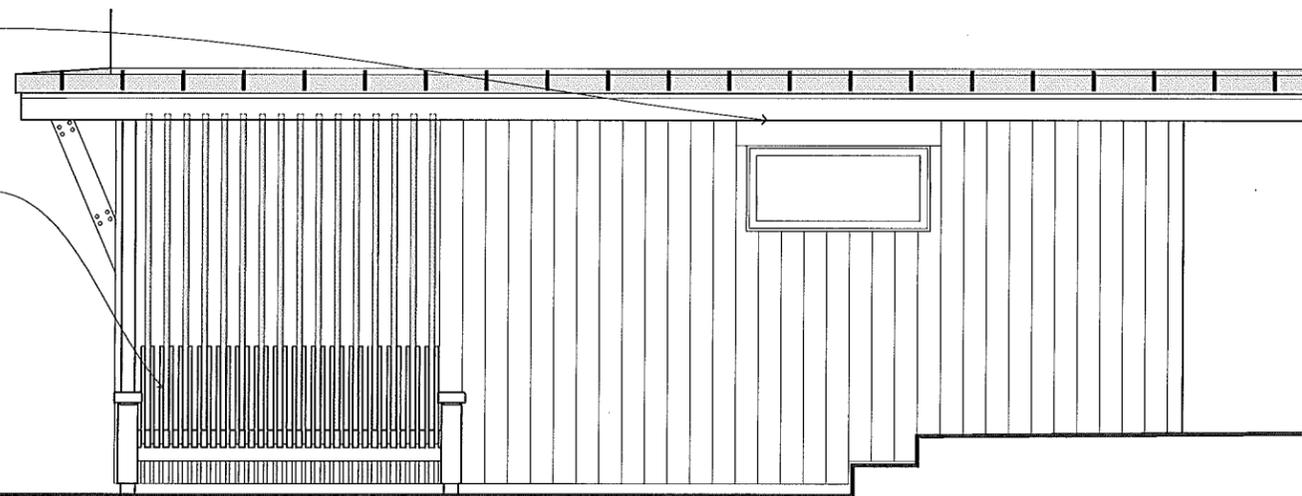
1 SOUTH (SIDE) ELEVATION

1/4"=1'-0" (@ FULL SIZE 22"X34") & 1/8"=1'-0" (@ HALF SIZE 11"X17")



SEE A4.1 FOR ADDL NOTES

SEE SHT A6.0 FOR DETAILS



2 SOUTH ELEVATION - SIDE GARAGE

1/2"=1'-0" (@ FULL SIZE 22"X34") & 1/4"=1'-0" (@ HALF SIZE 11"X17")



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Martilla
Residence
 21750 Byron Circle
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SCOPE OF PROJECT:
 REMODEL & ADDITION
 PROJECT NUMBER:
 2020_Martilla
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 AS NOTED

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SIGNATURE:
 NAME:
 DATE:
 REGISTRATION NUMBER:

SHEET TITLE:
 SOUTH (SIDE) ELEVATION

SHEET NUMBER:
A4.1

NOT FOR CONSTRUCTION

ARCHITECT:
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 2203 Como Avenue
 Saint Paul, MN 55108
 T E L (6 5 1) 3 2 8 - 4 5 7 1
 WHMADDEN@GMAIL.COM

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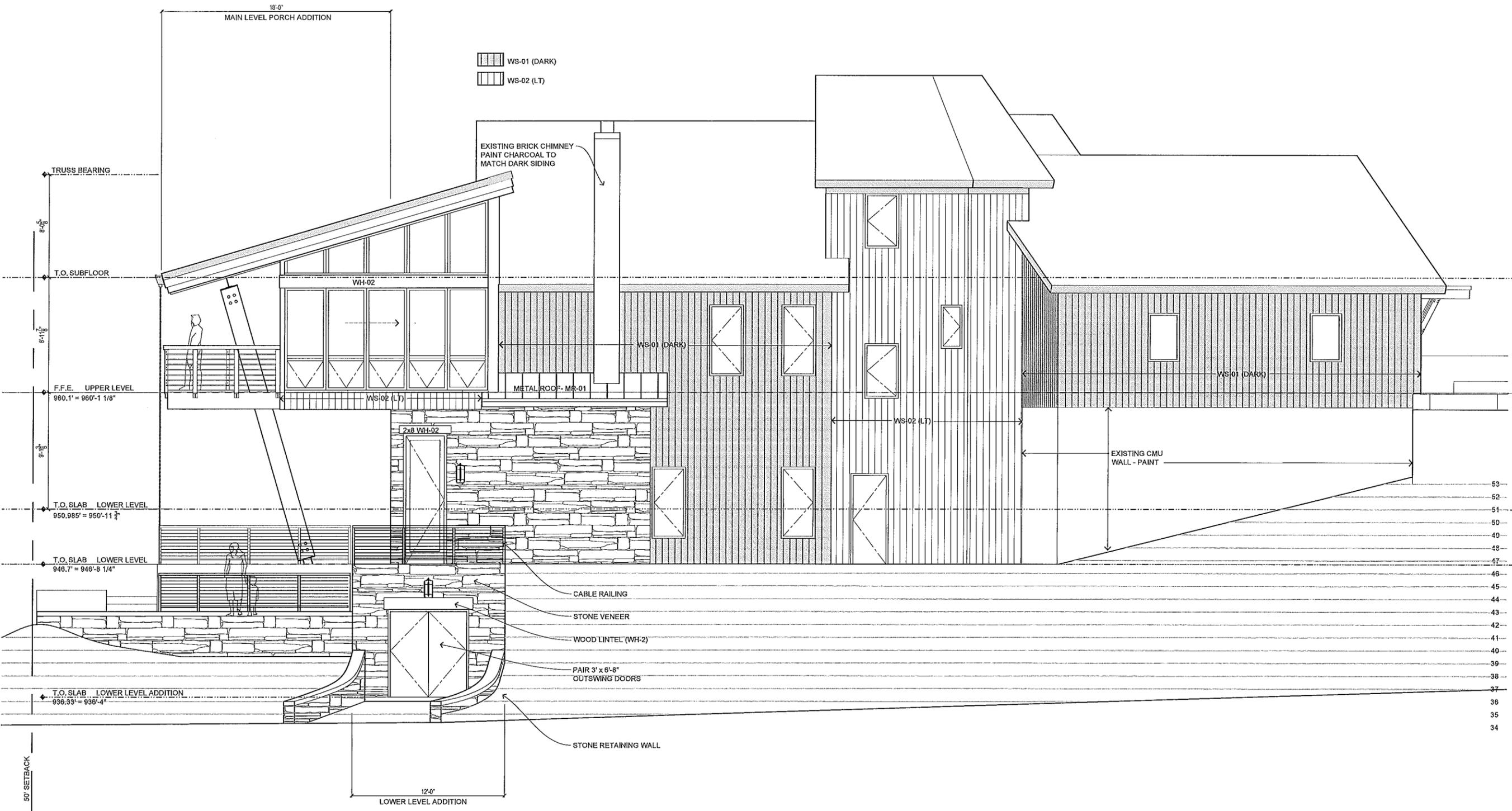
SIGNATURE:
 NAME:
 DATE:
 REGISTRATION NUMBER:

SHEET TITLE:
 NORTH (SIDE) ELEVATION

SHEET NUMBER:

A4.3

NOT FOR CONSTRUCTION



NORTH (SIDE) ELEVATION (PROPOSED)

1/4"=1'-0" (@ FULL SIZE 22"X34") & 1/8"=1'-0" (@ HALF SIZE 11"X17")



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Martilla Residence
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SCOPE OF PROJECT:
 REMODEL & ADDITION
 PROJECT NUMBER:
 2020_Martilla
 PROJECT PHASE:
 PLANNING COMMISSION
 ISSUE DATE:
 9/16/2020
 SCALE:
 AS NOTED

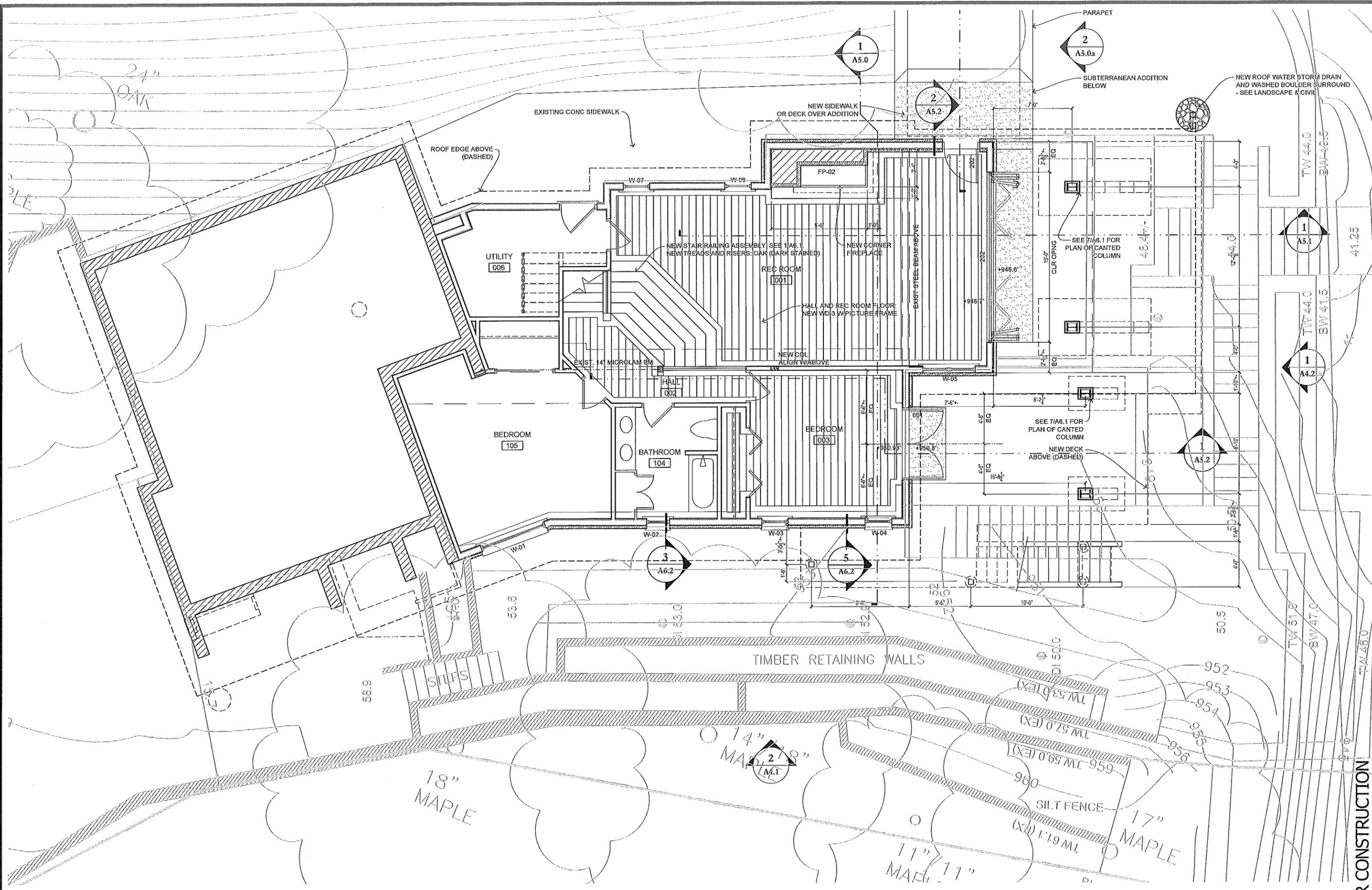
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE:
 NAME:
 DATE:
 REGISTRATION NUMBER:

SHEET TITLE:
 LOWER LEVEL PLAN

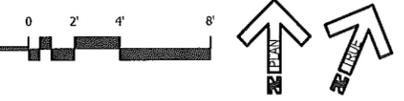
SHEET NUMBER:

A3.0



LOWER LEVEL PLAN

1/4"=1'-0" (@ FULL SIZE 22"X34") & 1/8"=1'-0" (@ HALF SIZE 11"X17")



NOT FOR CONSTRUCTION

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Martilla Residence
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SCOPE OF PROJECT:
 REMODEL & ADDITION

PROJECT NUMBER:
 2020_Martilla

PROJECT PHASE:
 PLANNING COMMISSION

ISSUE DATE:
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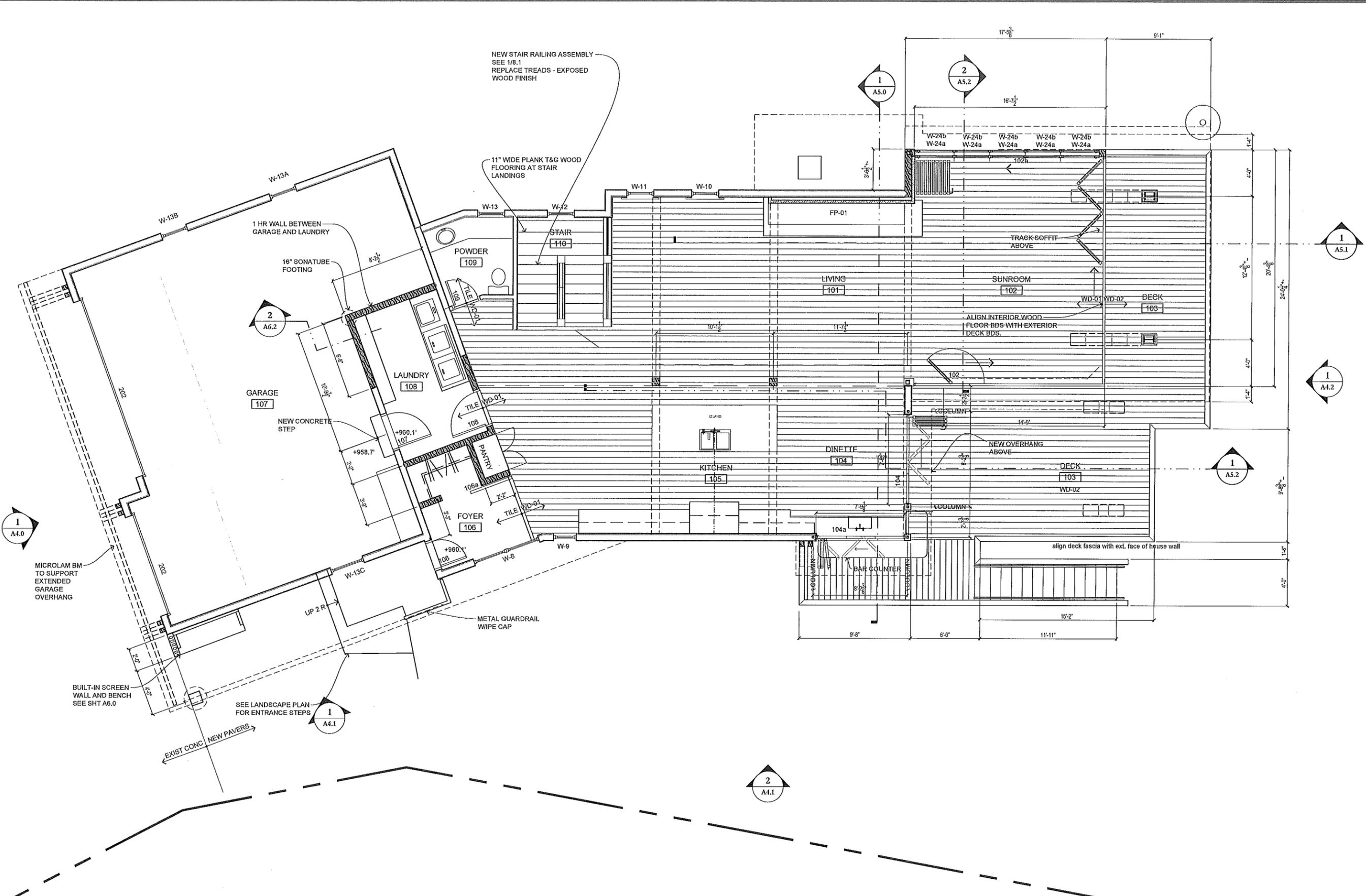
SIGNATURE:
 DATE:
 REGISTRATION NUMBER:

SHEET TITLE:
 MAIN LEVEL PLAN

SHEET NUMBER:

A3.1

NOT FOR CONSTRUCTION



NEW STAIR RAILING ASSEMBLY
 SEE 1/8.1
 REPLACE TREADS - EXPOSED
 WOOD FINISH

11" WIDE PLANK T&G WOOD
 FLOORING AT STAIR
 LANDINGS

1 HR WALL BETWEEN
 GARAGE AND LAUNDRY

16" SONATUBE
 FOOTING

NEW CONCRETE
 STEP

MICROLAM BM
 TO SUPPORT
 EXTENDED
 GARAGE
 OVERHANG

BUILT-IN SCREEN
 WALL AND BENCH
 SEE SHT A6.0

SEE LANDSCAPE PLAN
 FOR ENTRANCE STEPS

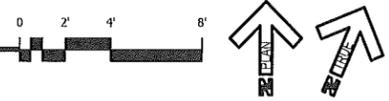
EXIST CONC NEW PAVERS

METAL GUARDRAIL
 WIPE CAP

align deck fascia with ext. face of house wall

MAIN LEVEL PLAN

1/4"=1'-0" (@ FULL SIZE 22"X34") & 1/8"=1'-0" (@ HALF SIZE 11"X17")



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Martilla Residence
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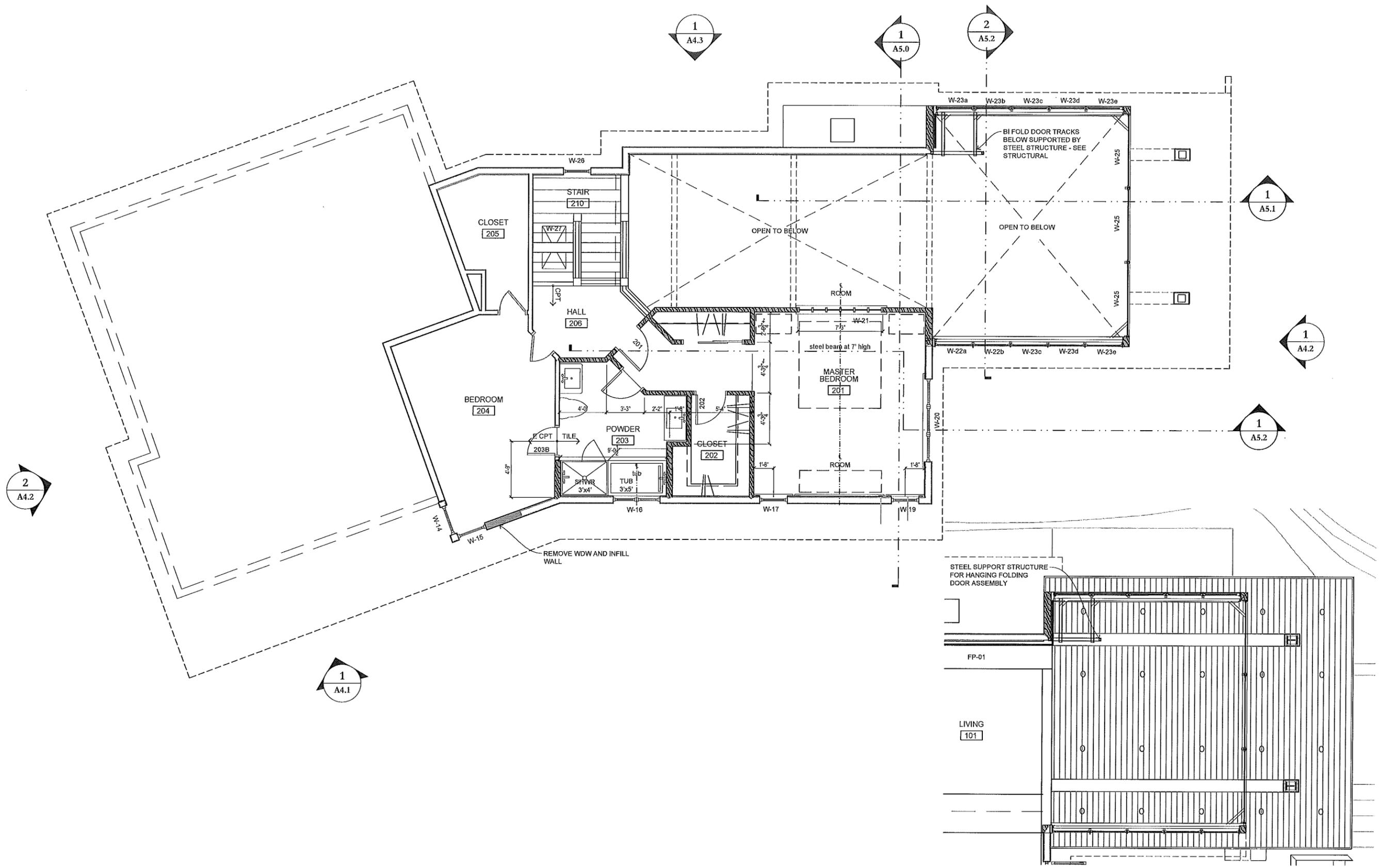
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SIGNATURE:
 DATE:
 REGISTRATION NUMBER:

SHEET TITLE:
 2ND FLOOR PLAN

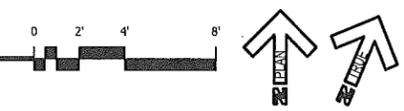
SHEET NUMBER:
A3.2

NOT FOR CONSTRUCTION



2ND FLOOR PLAN

1/4"=1'-0" (@ FULL SIZE 22"x34") & 1/8"=1'-0" (@ HALF SIZE 11"x17")



SUNROOM REFLECTED CLG PLAN

1/4"=1'-0" (@ FULL SIZE 22"x34") & 1/8"=1'-0" (@ HALF SIZE 11"x17")

Permit #	FORM #5 Return this document to City Hall
Receipt #	



Building Volume Compliance Form

If you prefer to complete this form electronically, it is available at www.greenwoodmn.com.

Property Owner(s)	Cory Martilla
Property Address	21750 Byron Circle, Greenwood, MN 55331

Person completing this form: Property Owner Builder / Architect

Per code section 1140.18 (view at www.greenwoodmn.com or at city hall), no lot in the residential zones of the city may be host to principal and accessory buildings and structures whose above grade building volume (expressed in cubic feet) is greater than the following maximums:

- (1) Lots of 7500 square feet or less in area may be host to buildings, structures, and accessory structures whose above grade building volume is not greater than a volume equal to 6 times the lot area.
 - (2) Lots between 7500 square feet and 15,000 square feet in area may be host to buildings, structures, and accessory structures whose above grade building volume is not greater than a volume equal to 42,000 cubic feet plus a volume of cubic feet equal to a figure 4 times (lot area minus 7500 square feet).
 - (3) Lots greater than 15,000 square feet in area may be host to buildings, structures, and accessory structures whose above grade building volume is not greater than a volume equal to 75,000 cubic feet plus a volume of cubic feet equal to a figure 2 times (lot area minus 15,000 square feet).
- Exclusions. All space above unroofed structures such as decks, patios, and wholly in-ground, at grade, pools with no exposed sides shall be excluded from the calculation of building volume.
 - Inclusions. Enclosed or unenclosed porches or porticos shall be included in the total volume of the building.
 - Building Perimeter Grade means the average of all elevation measurements taken off the finished grade or surface of the ground, sidewalk or paving around the perimeter of a building or structure at (a) points 5 feet distant and perpendicular to the building perimeter commencing at the most northerly corner thereof and thence clockwise at similarly situated points every 10 feet around the building perimeter, (b) the point of highest grade within 5 feet of the building perimeter and (c) the point of lowest grade within 5 feet of the building perimeter.

Exemption for small projects: The proposed improvements involve an area equal to 20% or less of the first floor of the principal structure, therefore I request the city zoning administrator waive the requirement to submit the additional survey requirements and the "above grade building volume" calculation.

The "above grade building volume" calculation for the property is:	70343 cf.
--	-----------

Sworn Statement: The undersigned hereby submits this "sworn statement" that the "above grade building volume" calculation is prepared in conformance with the provisions of code section 1140.18. In the event of inaccuracies, misstatements, incomplete information, or errors in the application and/or supporting materials, the city may issue stop work orders, or delay action on applications pending receipt of corrected or additional information. The undersigned assumes all risk of loss or expenses caused by any such deficiency, delay, or structural changes required to cause the structure to come into code compliance.

Signature		Date: September 14, 2020
Print Name	John Boyer, Boyer Building Corporation	

As-Built Construction Statement (to be signed prior to a certificate of occupancy being issued): The undersigned hereby submits this "sworn statement" and the attached as-built plans verifying the "above grade building volume" of the structure conforms to code section 1140.18.

Signature		Date:
Print Name		

Form Updated 10-27-14

9/11/2020

Martilla Residence

Building perimeter grade (BPG)	948.96
Building Height: average roof elevation	974.7
Building Height to average roof (max allowed 28') Building height less BPG	25.74

Data entry Recorded elevation

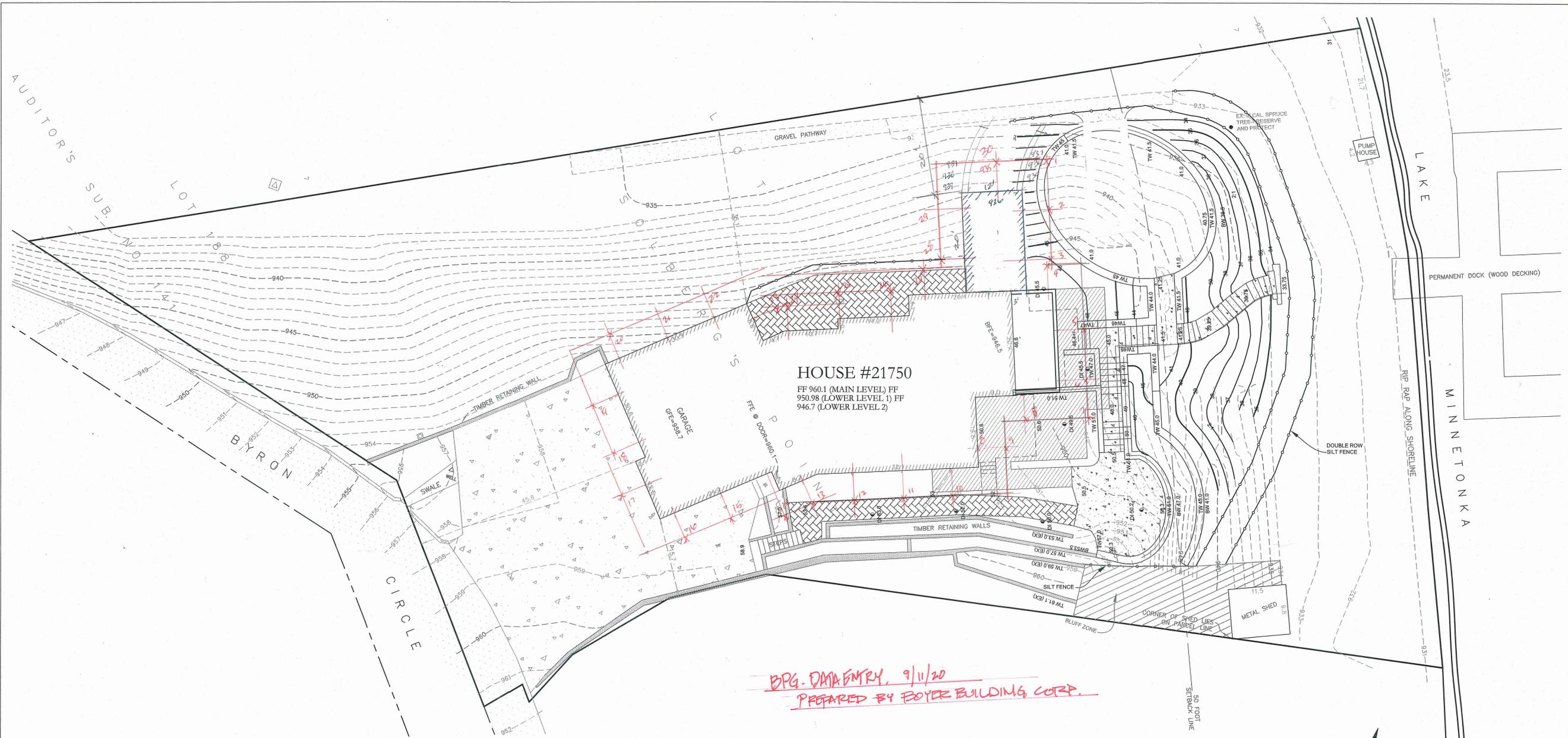
1	937.5
2	942
3	945
4	945
5	946.4
6	946
7	949
8	950
9	950
10	952
11	952.5
12	953.5
13	953.5
14	957
15	959
16	958.5
17	958.5
18	958.5
19	958.5
20	950
21	947.5
22	945
23	946.7
24	946.7
25	946.7
26	946.7
27	946.7
28	945
29	940.5
30	935

average elevation 948.96

(5' from building every 10' around building)

Prepared by John Boyer- Boyer Building Corporation

Data taken from Stark Engineering Grading and Erosion Control plan dated 1/22/20

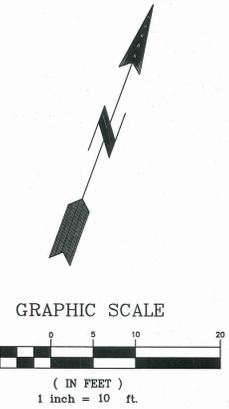


HOUSE #21750
 FF 960.1 (MAIN LEVEL) FF
 950.98 (LOWER LEVEL 1) FF
 946.7 (LOWER LEVEL 2)

*DPG-DATA ENTRY, 9/11/20
 PREPARED BY FOYER BUILDING CORP.*

NOTES:

1. BASE PLAN USED IS A SURVEY PREPARED BY VAN NESTE SURVEYING.
2. ALL EXISTING UTILITY LOCATIONS AND ELEVATIONS SHOWN ARE APPROXIMATE ONLY. CONTRACTOR SHALL CONFIRM ALL LOCATIONS AND ELEVATIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CONTACT UTILITY COMPANIES VIA GOPHER STATE ONE-CALL ONLINE OR BY CALLING 811 OR 1-800-252-1166.
3. ALL CONSTRUCTION SHALL CONFORM TO THE MOST RESTRICTIVE OF THE PROJECT SPECIFICATIONS, THE STANDARD SPECIFICATIONS OF THE CITY OF GREENWOOD AND THE LATEST EDITION OF MNDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION.
4. EXISTING BLUFF ZONE DETERMINED BASED ON CITY OF GREENWOOD DEFINITIONS AND NON-MODIFIED SLOPES ON THE PROJECT SITE. SLOPES DISTURBED BY EXISTING RETAINING WALLS HAVE BEEN EXCLUDED FROM THE BLUFF ZONE.
5. THE FOLLOWING SEQUENCE AND PROTOCOLS SHALL BE FOLLOWED FOR EROSION AND SEDIMENT CONTROL DURING THE SITE DEVELOPMENT PROCESS:
 - A. INSTALL PERIMETER CONTROLS (SILT FENCE) AS SHOWN ON THE PLANS PRIOR TO START OF WORK.
 - B. NO CONCRETE WASHOUTS ARE ALLOWED ON THE PROJECT SITE. SOIL STOCKPILES SHALL HAVE PERIMETER CONTROL AND HAVE TEMPORARY SEED AND MULCH.
 - C. MAINTAIN ALL TEMPORARY EROSION CONTROL DEVICES IN PLACE UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED. INSPECT TEMPORARY EROSION CONTROL DEVICES ON A WEEKLY BASIS AND AFTER EACH 1/2" OR MORE RAIN EVENT. CLEAN OR MAINTAIN THESE DEVICES AS NEEDED TO BE EFFECTIVE. REPLACE DETERIORATED, DAMAGED OR ROTTED EROSION CONTROL DEVICES IMMEDIATELY.
 - D. REMOVE ALL SOILS AND SEDIMENTS DEPOSITED ONTO PUBLIC AND/OR PRIVATE PAVEMENT AREAS WITHIN 24 HOURS OF DEPOSITION. REMOVAL OF TRACKING MATERIALS SHALL BE COMPLETED AT THE END OF EACH WORK DAY WHEN IT OCCURS. SWEEPING MAY BE ORDERED AT ANY TIME IF CONDITIONS WARRANT.
 - E. PERFORM SITE REMOVALS, GRADING, EXCAVATION AND EMBANKMENT. SEED AND MULCH ALL DISTURBED AREAS OUTSIDE OF PROPOSED RETAINING WALL, CONCRETE PAVEMENT, PAVERS, DECKING AND BUILDING AREAS WITHIN 72 HOURS OF THIS WORK.
 - F. INSTALL UTILITIES, PAVERS, RETAINING WALL AND CONCRETE PAVEMENT SECTION. FINE GRADE SITE AND RESTORE GREEN AREAS WITH PERMANENT VEGETATION PER PLANS.
 - G. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER SITE HAS UNDERGONE FINAL STABILIZATION AND PERMANENT VEGETATION HAS BEEN ESTABLISHED WITH AT LEAST 70% COVERAGE.



**REVIEW PLAN
 NOT FOR CONSTRUCTION**

www.starkengineering.com
 320-249-2611
 Sauk Rapids, Minnesota



I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Registered Engineer under the laws of the State of Minnesota.
 Wayne C.B. Stark Date: 1/22/20 26093 Registration No.

REVISIONS	CITY REVIEW
1/22/20	

**GRADING & EROSION
 CONTROL PLAN**

MARTILLA RESIDENCE
 GREEN WOOD, MINNESOTA
 for:
 PRECISION BUILDERS

9/14/2020

Martilla Remodel Total volume of building in Cubic Feet 70343
Volume Calculations Total volume allowed in Cubic Feet 105834
Lot area is 22,917 sf.

Space	length	width	height	slope or angle modifier	total vol.
Storage Shed Addition	14	20	8	1	2240
Lower Level 12' ceiling areas	20.5	34	13.33	1	9291.01
	14	16.5	13.33	1	3079.23
Lower Level 8' ceiling areas	14	41	9	1	5166
	14	8	9	1	1008
	8.5	3	9	0.5	114.75
	14	14	9	1	1764
Main Level					
Kit/Dining/Foyer	13.5	42	9	1	5103
Living Room	18	26.5	13.75	1	6558.75
Stair and Bath area	15	14	21	1	4410
Sun Room & open roof area	24.5	26	14	1	8918
Upper Level Bedrooms	18.5	44	8	1	6512
	14	6	8	0.5	336
	7	12	8	1	672
Garage	22	33	9.5	1	6897
	2	12.5	9.5	1	237.5
	8.5	18.5	9.5	1	1493.875
Attic over Garage	22	36	10	0.5	3960
	2	14.5	5	0.5	72.5
	8.5	20.5	10	0.5	871.25
Attic area over Bedrooms	16.5	42	4	0.5	1386
	6.5	14	4	0.5	182
	3.52	10	4	0.5	70.4

total volume of building in CU FT. 70343.27

allowed 75000
(2 times lot area less 15000)
2x 22917 less 15000 30834
105834

Above calculations prepared by John Boyer of Boyer Building Corporation.

LEGAL DESCRIPTION:

The part of Lot 18, Solberg's Point, that lies northwesterly of the following described line:
 Commencing at the most westerly corner of said Lot 18; thence on an assumed bearing of South 43 degrees 16 minutes 00 seconds East along the southwesterly line of said Lot 18, a distance of 115.00 feet to the point of beginning of the line to be described; thence North 37 degrees 39 minutes 59 seconds East a distance of 54.38 feet; thence North 75 degrees 39 minutes 41 seconds East a distance of 133 feet more or less to the shoreline of Lake Minnetonka and there terminating, EXCEPT the northwest 7 feet thereof.

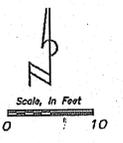
ALSO: That part of Lot 18, Auditor's Subdivision Number 141, which lies Southeast of the Southwesterly extension of the Southeast line of the Northwest 7 feet of Lot 15, Solberg's Point.

That part of Lot 19, Solberg's Point, described as follows:
 Commencing at the most westerly corner of said Lot 19; thence on an assumed bearing of South 43 degrees 16 minutes 00 seconds East along the southwesterly line of said Lot 19, a distance of 115.00 feet; thence North 37 degrees 39 minutes 59 seconds East, a distance of 54.38 feet; thence North 45 degrees 43 minutes 04 seconds East, a distance of 3.80 feet; thence North 20 degrees 21 minutes 44 seconds East, a distance of 12.02 feet; thence South 37 degrees 39 minutes 59 seconds West, a distance of 11.48 feet to the point of beginning.

end

That part of Lot 19, Solberg's Point described as follows: Commencing at the most westerly corner of said Lot 19; thence on an assumed bearing of South 43 degrees 16 minutes East, along the southwesterly line of said Lot 19, a distance of 115.00 feet; thence North 37 degrees 39 minutes 59 seconds East, a distance of 54.38 feet; thence North 37 degrees 39 minutes 59 seconds East, continuing on the last described course, a distance of 33.36 feet to the point of beginning of the land to be described; thence North 54 degrees 12 minutes 24 seconds East, a distance of 10.55 feet; thence South 75 degrees 39 minutes 41 seconds West, a distance of 9.11 feet; thence South 37 degrees 39 minutes 59 seconds West a distance of 11.88 feet to the point of beginning, Hennepin County, Minnesota.

PREPARED FOR:
 CORY MARTILLA AND
 DENAE MARTILLA
 21750 BYRON CIRCLE
 GREENWOOD, MN 55331



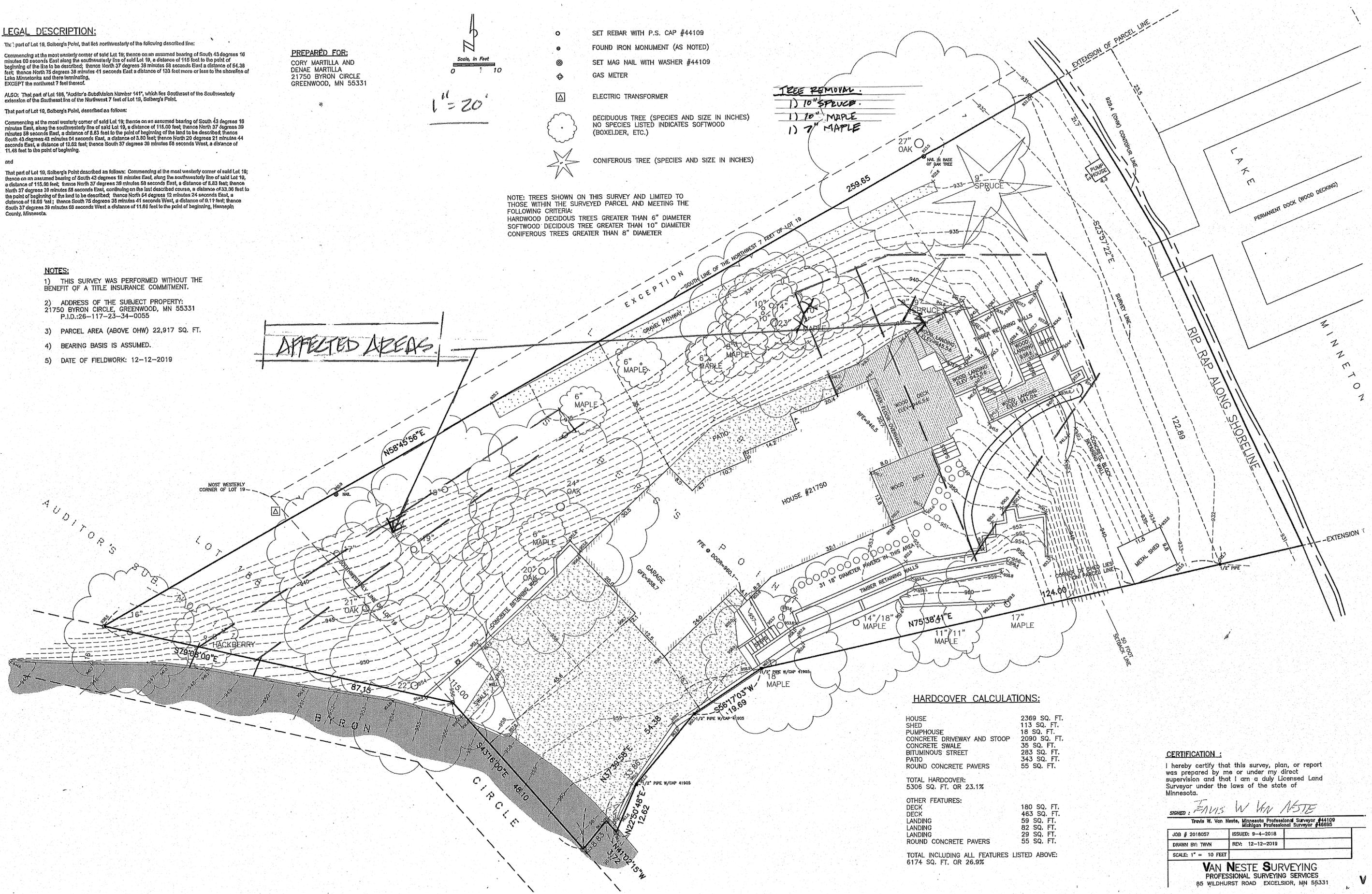
- SET REBAR WITH P.S. CAP #44109
- FOUND IRON MONUMENT (AS NOTED)
- ⊙ SET MAG NAIL WITH WASHER #44109
- ⊕ GAS METER
- ⊠ ELECTRIC TRANSFORMER
- ☁ DECIDUOUS TREE (SPECIES AND SIZE IN INCHES)
 NO SPECIES LISTED INDICATES SOFTWOOD (BOXELDER, ETC.)
- ★ CONIFEROUS TREE (SPECIES AND SIZE IN INCHES)

TREE REMOVAL:
 1) 10" SPRUCE
 1) 10" MAPLE
 1) 7" MAPLE

NOTE: TREES SHOWN ON THIS SURVEY AND LIMITED TO THOSE WITHIN THE SURVEYED PARCEL AND MEETING THE FOLLOWING CRITERIA:
 HARDWOOD DECIDUOUS TREES GREATER THAN 6" DIAMETER
 SOFTWOOD DECIDUOUS TREE GREATER THAN 10" DIAMETER
 CONIFEROUS TREES GREATER THAN 8" DIAMETER

- NOTES:**
- THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE INSURANCE COMMITMENT.
 - ADDRESS OF THE SUBJECT PROPERTY:
 21750 BYRON CIRCLE, GREENWOOD, MN 55331
 P.I.D.:26-117-23-34-0055
 - PARCEL AREA (ABOVE OHW) 22,917 SQ. FT.
 - BEARING BASIS IS ASSUMED.
 - DATE OF FIELDWORK: 12-12-2019

AFFECTED AREAS



HARDCOVER CALCULATIONS:

HOUSE	2369 SQ. FT.
SHED	113 SQ. FT.
PUMPHOUSE	18 SQ. FT.
CONCRETE DRIVEWAY AND STOOP	2090 SQ. FT.
CONCRETE SWALE	35 SQ. FT.
BITUMINOUS STREET	285 SQ. FT.
PATIO	343 SQ. FT.
ROUND CONCRETE PAVERS	55 SQ. FT.
TOTAL HARDCOVER:	5306 SQ. FT. OR 23.1%
OTHER FEATURES:	
DECK	180 SQ. FT.
LANDING	463 SQ. FT.
LANDING	59 SQ. FT.
LANDING	82 SQ. FT.
LANDING	29 SQ. FT.
ROUND CONCRETE PAVERS	55 SQ. FT.
TOTAL INCLUDING ALL FEATURES LISTED ABOVE:	6174 SQ. FT. OR 26.9%

CERTIFICATION:

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the state of Minnesota.

SIGNED: *Travis W. Van Neste*
 Travis W. Van Neste, Minnesota Professional Surveyor #44109
 Michigan Professional Surveyor #46695

JOB # 2018057	ISSUED: 9-4-2018
DRAWN BY: TAWN	REV: 12-12-2019
SCALE: 1" = 10 FEET	

VAN NESTE SURVEYING
 PROFESSIONAL SURVEYING SERVICES
 85 WILDHURST ROAD EXCELSIOR, MN 55331

Pat Smith

From: Bob Bean <Robert.Bean@bolton-menk.com>
Sent: Tuesday, October 6, 2020 8:45 AM
To: Pat Smith
Subject: RE: 21750 Byron Cir

CITY OF DEEPHAVEN SECURITY NOTICE:

This email originated from an external sender. Exercise caution before clicking on any links or attachments and consider whether you know the sender. For more information please contact IT Support.

Pat,

I have completed review of the information submitted. Following are my comments for City consideration:

1. Drainage patterns will be maintained with proposed improvements. Runoff will continue to drain directly to Lake Minnetonka.
2. Perimeter erosion control measures must be installed by the Contractor and inspected by the City prior to any other work. Contractor must provide minimum 24 hour notice prior to inspection.
3. Perimeter erosion control must be indicated down gradient of the proposed retaining wall and path on the north side of the lot.
4. Retaining walls 4' or greater in height must be designed by a licensed Professional Engineer. Wall plans must be submitted for review and approval prior to construction.
5. Bluff is present along the south side of the lot, and the area is accurately noted on the plan. Perimeter control measures have been adequately indicated adjacent to the bluff to prevent any disturbance of this area.
6. Clear drive lanes must be maintained on Byron Circle at all times.
7. The applicant will be required to obtain a Minnehaha Creek Watershed District permit for the proposed improvements. A copy of the permit must be provided to the City conditional to final approval.

If you have any questions or comments, please contact me to discuss further.

Thanks,

Robert E Bean Jr. P.E.

Water Resources Project Engineer

Bolton & Menk, Inc.

2638 Shadow Lane

Suite 200

Chaska, MN 55318-1172

Phone: 952-448-8838 ext. 2892

Mobile: 612-756-3184

Bolton-Menk.com

From: Pat Smith <pat@cityofdeephaven.org>
Sent: Thursday, September 17, 2020 11:50 AM
To: Bob Bean <Robert.Bean@bolton-menk.com>
Subject: 21750 Byron Cir

Hey Bob,