

AGENDA

Greenwood City Council Meeting

7pm, TUESDAY, July 7, 2020

The meeting will be held by Zoom video-conferencing technology.

Use this link to join the meeting ...

<https://us02web.zoom.us/j/82755635540?pwd=MnY1Nzd2bkxNTXUzRmlCWS8wazJJZz09>

If you would like to test Zoom prior to the meeting, feel free to login early. If you have trouble with Zoom, call Councilman Fletcher at 952.224.5550.



Regular Meeting *The public is invited to speak when items come up on the agenda (comments are limited to 3 minutes). The public may speak regarding other items during Matters from the Floor (see below).*

7:00pm 1. CALL TO ORDER | ROLL CALL | APPROVE MEETING AGENDA

7:01pm 2. CONSENT AGENDA

Consent Agenda items are considered to be routine and are approved through one motion with no discussion by the city council. Council members may remove any Consent Agenda item for discussion and separate consideration under Other Business.

A. Approve: 06-01-20 City Council Emergency Meeting Minutes

B. Approve: 06-03-20 City Council Meeting Minutes

C. Approve: 06-03-20 City Council Worksession Minutes

D. Approve: 06-18-20 City Council Worksession Minutes

E. Approve: 06-18-20 City Council Special Meeting Minutes

F. Approve: May Cash Summary Report

G. Approve: May Certificates of Deposit Report

H. Approve: Jun Verifieds, Check Register, Electronic Fund Transfers

I. Approve: Jul Payroll Register

J. Approve: 2nd Reading: Ord 301 Amending Zoning Ordinance re: Construction Hours

K. Approve: Res 20-20 Appointing Election Judges and Absentee Ballot Board

L. Approve: Res 21-20 Designation of Polling Place

M. Approve: Liability Coverage Waiver Form

N. Approve: Excelsior Dock Patrol

7:05pm 3. MATTERS FROM THE FLOOR

This is an opportunity for the public to address the council regarding matters not on the agenda. Comments are limited to 3 minutes. Typically, the council will not take action on items presented at this time, but will refer items to staff for review, action, and / or recommendation for future council action.

7:10pm 4. PRESENTATIONS, REPORTS, GUESTS, AND ANNOUNCEMENTS

A. City Engineer Dave Martini: Discuss 2020 Engineering Projects

B. Announcement: Budget & Fees Worksession, 6:30pm, 08.05.20 (before the regular council meeting)

NONE 5. PUBLIC HEARINGS

NONE 6. ACTION RELATED TO PUBLIC HEARINGS

7:20pm 7. PLANNING, ZONING & SUBDIVISION ITEMS

A. Consider: Res 19-20, Variance Findings, Colin Sievers, 5270 Meadville Street

B. Discuss: Potential Amendments to Small Cell Wireless Ordinance

C. Discuss: Potential Changes to Impervious Surface Definition

NONE 8. UNFINISHED BUSINESS

8:00pm 9. NEW BUSINESS

A. Discuss: Use of Meadville Fire Lane (between 5130 and 5120 Meadville Street)

B. Discuss: Minnehaha Creek Watershed District Capital Improvement Plan

NONE 10. OTHER BUSINESS

8:30pm 11. COUNCIL REPORTS

A. Conrad: Planning Commission

B. Cook: LMCD, SABLID, Public Works Committee

C. Fletcher: LMCC, Fire, Administrative Committee

D. Kind: Police, Administrative Committee, Public Works Committee, Mayors' Meetings, Website

E. Roy: Minnetonka Community Education

8:45pm 12. CLOSED SESSION

A. Meeting with City Attorney Bob Vose re: Land Title Application for Registration of Land, Excelsior Entertainment, LLC

9:15pm 13. ADJOURNMENT

Worksession *In accordance with open meeting laws, this worksession is open to the public to view, but there will be no opportunity for public participation. The worksession will be held by Zoom video-conferencing technology. If you have trouble with Zoom, call Councilman Fletcher at 952.224.5550. Use this link to join the meeting ... <https://us02web.zoom.us/j/82312634603?pwd=eXB4YXdPdDlvcVBabmZzdmJGNWcwQT09>*

9:20pm 1. CALL TO ORDER | ROLL CALL | APPROVE AGENDA

9:20pm 2. Discuss 2021 City Services

9:45pm 3. ADJOURNMENT



Agenda Item: Consent Agenda

Summary: The consent agenda items are considered to be routine and are approved through one motion with no discussion by the city council. Council members may remove consent agenda items for further discussion. Removed items will be placed under Other Business on the agenda.

The consent agenda items are included in the hard copy of the full council packet and in the electronic version of the packet available at www.greenwoodmn.com.

Council Action: Required. Possible motion ...

1. I move the council approves the consent agenda items as presented.



MINUTES

Greenwood City Council Emergency Meeting

4:30pm, Monday, June 1, 2020

Via Zoom Video Conferencing Technology

1. CALL TO ORDER | ROLL CALL | APPROVE AGENDA

Mayor Kind called the meeting to order at 4:33pm.

Members Present: Mayor Kind; Councilmembers Kristi Conrad, Tom Fletcher

Members Absent: Councilmembers Cook, Roy

Staff Members Present: None

Motion by Kind to approve the agenda. Second by Conrad. Motion passed 3-0 on a roll call vote.

2. CONSIDER EXTENDING MAYOR KIND'S 05-30.20 DECLARATION OF LOCAL EMERGENCY AND NIGHTTIME CURFEW

Motion by Kind that the Greenwood city council (1) extends Mayor Kind's 05-30-20 Declaration of Local Emergency and Nighttime Curfew until rescinded by council action, and (2) authorizes the mayor to establish curfews as requested by South Lake Minnetonka Police Chief Mike Meehan. Second by Conrad. Motion passed 3-0 on a roll call vote.

3. ADJOURNMENT

Motion by Kind to adjourn the meeting at 4:38pm. Second by Conrad. Motion passed 3-0 on a roll call vote.

This document is intended to meet statutory requirements for city council meeting minutes.



MINUTES

Greenwood City Council Worksession

9:48pm, Wednesday, June 3, 2020

Via Zoom Video Conferencing Technology

1. CALL TO ORDER | ROLL CALL | APPROVE AGENDA

Mayor Kind called the worksession to order at 9:48pm.

Members Present: Mayor Kind; Councilmembers Kristi Conrad, Bill Cook, Tom Fletcher, Rob Roy

Members Absent: None

Staff Members Present: None

Motion by Cook to approve the agenda. Second by Kind. Motion passed 5-0 on a roll call vote.

2. DISCUSS CONTRACT FOR CITY SERVICES

The city council continued discussion regarding city services in light of Deephaven's decision to not provide public works and planning and zoning services for Greenwood beginning 01.01.21. Currently, Greenwood contracts for most services through the city of Deephaven. They provide meeting space, administrative services, bookkeeping, utility billing, zoning and planning, public works, and more.

The city council discussed various options for providing city services: contracting with Shorewood, Excelsior, or a private contractor for public works; and contracting with Bolton & Menk or WSB for planning and zoning. The council also discussed ideas for other services – including the option of staying with Deephaven.

The city council will hold a social-distancing worksession at 4pm on 6/18 at Councilman Cook's yard to review estimates and continue the discussion.

3. ADJOURNMENT

Motion by Kind to adjourn the meeting at 10:27pm. Second by Roy. Motion passed 5-0 on a roll call vote.

This document is intended to meet statutory requirements for city council meeting minutes.

MINUTES

Greenwood City Council Meeting

Wednesday, June 3, 2020

Via Zoom Video Conferencing Technology



1. CALL TO ORDER | ROLL CALL | APPROVE AGENDA

Mayor Kind called the meeting to order at 7:00pm.

Members Present: Mayor Kind; Councilmembers Kristi Conrad, Bill Cook, Tom Fletcher, Rob Roy

Members Absent: None

Staff Members Present: City Zoning Administrator Pat Smith, City Engineer's Rep Brian Simmons (Bolton & Menk)

Motion by Kind to approve the agenda with the following revisions: Delete item 7A. Second by Conrad. Motion passed 5-0 on a roll-call vote.

2. CONSENT AGENDA

A. Approve: 05.06.20 City Council Meeting Minutes

B. Approve: 05.06.20 City Council Worksession Minutes

C. Approve: Apr Cash Summary Report (will be emailed separately)

D. Approve: Apr Certificates of Deposit Report

E. Approve: May Verifields, Check Register, Electronic Fund Transfers (will be emailed separately)

F. Approve: Jun Payroll Register (will be emailed separately)

G. Approve: LMCD Budget

Consent Agenda Motion: Motion by Kind that the Greenwood city council (1) expresses support for the 2021 Lake Minnetonka Conservation District budget as proposed; and (2) directs that a copy of this motion be sent to the LMCD executive director. Second by Roy. Motion passed 5-0 on a roll-call vote.

H. Approve: Res 16-20, Findings for Lot Combination, Feters, 21170 & 21200 Minnetonka Blvd

Consent Agenda Motion: Motion by Kind that the Greenwood city council adopts resolution 06-20 findings for lot combination for Feters, 21170 & 21200 Minnetonka Blvd. Second by Roy. Motion passed 5-0 on a roll-call vote.

Motion by Kind to approve the consent agenda items A-H. Second by Roy. Motion passed 5-0 on a roll-call vote.

3. MATTERS FROM THE FLOOR

None.

4. PRESENTATIONS, REPORTS, GUESTS, AND ANNOUNCEMENTS

A. City Engineer Dave Martini: Discuss 2020 Engineering Projects

Brian Simmons shared an update regarding the status of 2020 engineering projects.

No council action taken. *View report at LMCC-TV.org.*

a) Councilman Bill Cook and Brian Simmons shared and Overview of Inflow / Infiltration in Greenwood

No council action taken. *View presentation at LMCC-TV.org.*

B. Announcement: July 4th BOAT Parade

To comply with COVID-19 social distancing recommendations, Greenwood will celebrate July 4th with a BOAT parade! Meet at the St. Alban's Bay city docks at 10am. The parade will circle around the bay. Decorate your boat and dress in red, white, and blue to join in the fun! Questions: Kristi Conrad 952.285.5345.

5. PUBLIC HEARINGS

A. None

6. ACTION RELATED TO PUBLIC HEARINGS

A. None

7. PLANNING, ZONING & SUBDIVISION ITEMS

~~A. Consider: Res 07-20, Conditional Use Permit Findings (grading and retaining walls) Precision Builders, LLC for 21750 Byron Circle~~

This item was removed from the agenda.

B. 2nd Reading: Ord 299, Amending Section 1140.10 Subd 2(C) Lake Setbacks for Accessory Structures; Res 11-20, Summary of Ord 299 for Publication

Motion by Fletcher to approve the 2nd reading of ordinance 299 amending section 1140.10 subd 2(C) Lake Setbacks for Accessory Structures as amended; (2) approves resolution 11-20 a summary of ordinance 299; and (3) directs staff to submit resolution 11-20 to the city's official newspaper for publication. Second by Cook. Motion passed 4-1 on a roll-call vote with Kind voting nay.

C. Consider: Res 17-20, Variance Findings for Placement of Air Conditioning Unit, Ranee Jacobus, 5290 Meadville St. Jeff Solum, 5280 Meadville Street spoke in favor of the south location for the AC unit.

Maureen Burns, 5080 Meadville Street expressed concern for future property owners if the variance is granted.

Motion by Kind that the city council (1) adopts resolution 17-20 laying out the findings of fact APPROVING the variance to install an air conditioning unit within three feet of a property line for 5290 Meadville Street, with revisions as discussed; (2) council directs the city clerk to mail a copy of the findings to the applicant; (3) and place an Affidavit of Mailing for each of the mailings in the property file. Second by Cook. Motion passed 3-2 on a roll-call vote with Fletcher and Conrad voting nay.

D. Consider: Res 18-20, CUP Amendment Findings for Grading, Alvin McQuinn, 4900 Meadville Street

Bob Sevey, 4926 Meadville Street expressed concern regarding the potential for water in his basement.

Applicant's Engineer stated that the city engineer approved the revised plan.

Motion by Fletcher that the city exercises its option to take an additional 60 days to give the applicant time to come back with a revised plan that includes removal of the catch basin. Second by Cook. Motion passed 4-1 on a roll-call vote with Kind voting nay.

E. 1st Reading: Ord 298, Amending Zoning Ordinance re: Construction Hours

Motion by Conrad that the city council (1) approves the 1st reading of ordinance 298 amending the construction management ordinance code section 305 as written; and (2) directs the ordinance be placed on the next city council consent agenda for a 2nd reading. Second by Roy. Motion passed 5-0 on a roll-call vote.

F. Discuss: Potential Amendments to Small Cell Wireless Ordinance

Motion by Fletcher to continue this item to the 07-07-20 council agenda. Second by Kind. Motion passed 5-0 on a roll-call vote.

8. UNFINISHED BUSINESS

A. None

9. NEW BUSINESS

A. Consider: Right-of-Way Encroachment Permit Application, Krezowski, 5130 Meadville Street

Motion by Cook that the city council approves the right-of-way encroachment permit for Mark & Katherine Krezowski, 5130 Meadville Street and sets the permit fee of \$50. Second by Fletcher. Motion passed 5-0 on a roll-call vote.

10. OTHER BUSINESS

A. None

11. COUNCIL REPORTS

A. Conrad: Planning Commission

No council action taken. *View report at LMCC-TV.org.*

B. Cook: Lake Minnetonka Conservation District, Public Works Committee, St. Alban's Lake Improvement District

Motion by Cook that the city council authorizes public works to remove the tagged trees at Greenwood Park. Second by Conrad. Motion passed 5-0 on a roll-call vote.

C. Fletcher: LMCC, Fire, Administrative Committee, Metro Cities, League of MN Cities

No council action taken. *View report at LMCC-TV.org.*

D. Kind: Police, Administrative Committee, Public Works Committee, Mayors' Meetings, Website

Motion by Cook that the city council approves the \$3750 estimate for Bolton & Menk to survey Shuman Woods Park as the first step towards creating a minimalist park setting. Second by Kind. Motion passed 5-0 on a roll-call vote.

Motion by Roy that the city council approves the \$4,638 bid for the 2020 road striping project. Second by Cook. Motion passed 5-0 on a roll-call vote.

Motion by Kind that the city council authorizes Councilman Fletcher to coordinate the inspection of Georgetown Manor. Second by Roy. Motion passed 5-0 on a roll-call vote.

E. Roy: Minnetonka Community Education

No council action taken. *View report at LMCC-TV.org.*

12. ADJOURNMENT

Motion by Roy to adjourn the meeting at 9:38pm. Second by Conrad. Motion passed 5-0 on a roll-call vote.

This document is intended to meet statutory requirements for city council meeting minutes. A video recording was made of the meeting which provides a verbatim account of what transpired. The video recording is available for viewing at lmcc-tv.org for 1 year.



MINUTES

Greenwood City Council Special Meeting

3:50pm, Thursday, June 18, 2020

Councilman Cook's Property, 5195 Greenwood Circle

Held outside using social distancing rules.

1. CALL TO ORDER | ROLL CALL | APPROVE AGENDA

Mayor Kind called the meeting to order at 3:52pm.

Members Present: Mayor Kind; Bill Cook, Tom Fletcher, Rob Roy

Members Absent: Councilmembers Kristi Conrad

Staff Members Present: None

Motion by Kind to approve the agenda. Second by Roy. Motion passed 4-0.

2. CONSIDER: RESOLUTION 22-20 COVID-19 PREPAREDNESS PLAN

Motion by Roy that the Greenwood city council approves resolution 22-20 COVID-19 Preparedness Plan. Second by Cook. Motion passed 4-0.

3. ADJOURNMENT

Motion by Kind to adjourn the meeting at 3:56pm. Second by Roy. Motion passed 4-0.

This document is intended to meet statutory requirements for city council meeting minutes.



MINUTES

Greenwood City Council Worksession

4pm, Thursday, June 18, 2020

Councilman Cook's Property, 5195 Greenwood Circle

Held outside using social distancing rules.

1. CALL TO ORDER | ROLL CALL | APPROVE AGENDA

Mayor Kind called the worksession to order at 4pm.

Members Present: Mayor Kind; Councilmembers Kristi Conrad, Bill Cook, Tom Fletcher, Rob Roy

Members Absent: None

Staff Members Present: None

Motion by Kind to approve the agenda. Second by Cook. Motion passed 5-0.

2. DISCUSS CONTRACT FOR CITY SERVICES

The city council continued discussion regarding city services in light of Deephaven's decision to not provide public works and planning and zoning services for Greenwood beginning 01.01.21. Currently, Greenwood contracts for most services through the city of Deephaven. They provide meeting space, administrative services, bookkeeping, utility billing, zoning and planning, public works, and more.

The city council discussed proposals from Excelsior, Shorewood, Cornerstone Industries, Bolton & Menk, and WSB. The council also discussed the idea of hiring a part-time Zoning Administrator.

The council will continue the discussion at an upcoming worksession (date and time TBD).

3. ADJOURNMENT

Motion by Roy to adjourn the meeting at 4:49pm. Second by Kind. Motion passed 5-0.

This document is intended to meet statutory requirements for city council meeting minutes.

GREENWOOD CERTIFICATES OF DEPOSIT

Report Date **5/31/20**

Acct #	Bank	Date	Term	Maturity	Rate	Amount
x237	Bridgewater Bank	11/08/18	18 Month	Cashed Out	0.00%	\$ -
x238	Bridgewater Bank	03/08/19	18 Month	09/08/20	2.82%	\$ 136,020.01
x239	Bridgewater Bank	05/08/19	18 Month	11/08/20	2.48%	\$ 135,597.08
x240	Bridgewater Bank	09/08/19	18 Month	03/08/21	2.23%	\$ 135,038.27
x241	Bridgewater Bank	11/08/19	18 Month	05/08/21	1.59%	\$ 135,186.28
x242	Bridgewater Bank	03/08/20	18 Month	09/08/21	1.84%	\$ 135,461.14
TOTAL						\$ 677,302.78

CITY COUNCIL POLICY

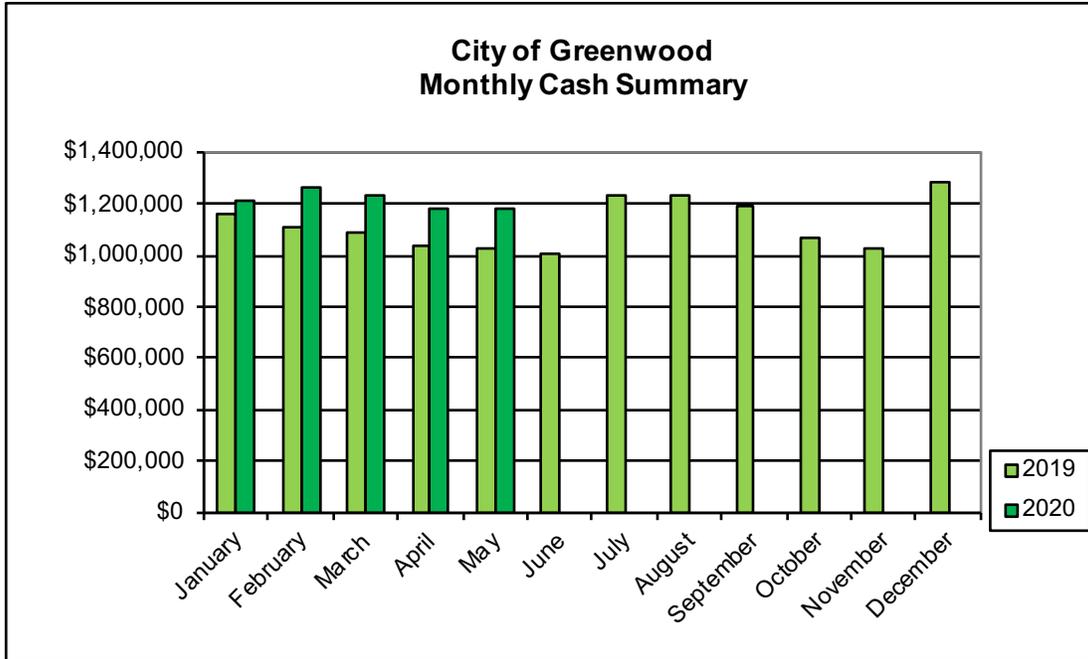
09-03-14 Motion by Roy to authorize the administrative committee to open CDs with a maximum initial maturity of 25 months with a combined maximum total CD balance of \$500,000 at Alerus Bank or Bridgewater Bank. Second by Cook. Motion passed 5-0.

11-02-16 Motion by Fletcher that the city council authorizes an increase from \$500,000 to \$600,000 for the city's maximum balance of certificate of deposit. Second by Roy. Motion passed 5-0.

10-04-17 Motion by Fletcher that the city council approves the August Certificates of Deposit Report and increases the maximum combined balance for Certificates of Deposit from \$600,000 to \$700,000. Second by Kind. Motion passed 4-0.

05-02-18 Motion by Conrad that the Greenwood city council (1) authorizes the administrative committee to move forward with the Bridgewater Bank CD staging concept; and (2) authorizes a maximum of \$800,000 to be invested in CDs. Second by Quam. Motion passed 5-0.

04-03-19 Motion by Fletcher to raise the allowable certificate of deposits balance to \$900,000 to allow for interest growth. Second by Conrad. Motion passed 4-0.



	2019	2020	Variance with Prior Month	Variance with Prior Year
January	\$1,160,255	\$1,212,136	-\$75,983	\$51,881
February	\$1,113,218	\$1,262,195	\$50,059	\$148,977
March	\$1,093,116	\$1,237,573	-\$24,622	\$144,457
April	\$1,035,438	\$1,181,345	-\$56,228	\$145,907
May	\$1,030,665	\$1,184,046	\$2,701	\$153,381
June	\$1,001,314	\$0	-\$1,184,046	-\$1,001,314
July	\$1,235,754	\$0	\$0	-\$1,235,754
August	\$1,229,599	\$0	\$0	-\$1,229,599
September	\$1,196,210	\$0	\$0	-\$1,196,210
October	\$1,071,209	\$0	\$0	-\$1,071,209
November	\$1,031,949	\$0	\$0	-\$1,031,949
December	\$1,288,119	\$0	\$0	-\$1,288,119

Bridgewater Bank Checking	\$37,321
Bridgewater Bank Money Market	\$469,422
Bridgewater Bank CD's	\$677,303
	\$1,184,046

ALLOCATION BY FUND

General Fund	\$414,180
Special Project Fund	\$8,406
General Fund Designated for Parl	\$6,249
Bridge Capital Project Fund	\$191,244
Road Improvement Fund	\$35,068
Stormwater Fund	\$40,989
Sewer Enterprise Fund	\$361,835
Marina Enterprise Fund	\$126,075
	\$1,184,046

Check Issue Date(s): 06/01/2020 - 06/30/2020

Per	Date	Check No	Vendor No	Payee	Check GL Acct	Amount
06/20	06/02/2020	11466	51	BOLTON & MENK, INC.	602-20100	2,036.00
06/20	06/02/2020	11467	9	CITY OF DEEPHAVEN	101-20100	8,121.39
06/20	06/02/2020	11468	761	DEBRA KIND	101-20100	16.11
06/20	06/02/2020	11469	822	ECM PUBLISHERS INC	101-20100	107.10
06/20	06/02/2020	11470	68	GOPHER STATE ONE CALL	602-20100	47.25
06/20	06/02/2020	11471	892	INTERNET NETWORKX	101-20100	194.00
06/20	06/02/2020	11472	850	KENNEDY, GRAVEN, CHARTERED	101-20100	412.50
06/20	06/02/2020	11473	255	LMC INSURANCE TRUST	101-20100	200.00
06/20	06/02/2020	11474	105	METRO COUNCIL ENVIRO SERVICES	602-20100	2,774.73
06/20	06/02/2020	11475	893	REPUBLIC SERVICES #894	101-20100	1,981.45
06/20	06/02/2020	11476	38	SO LAKE MINNETONKA POLICE DEPT	101-20100	16,681.58
06/20	06/02/2020	11477	875	TIMBERWALL LANDSCAPE & MASONF	605-20100	120.69
06/20	06/02/2020	11478	145	XCEL ENERGY	101-20100	617.45
Totals:						<u>33,310.25</u>

Dated: _____

Mayor: _____

City Council: _____

City Recorder: _____

Vendor	Vendor Name	Invoice No	Description	Inv Date	Net Inv Amt
BOLTON & MENK, INC.					
51	BOLTON & MENK, INC.	0249934	2020 DEVELOPMENT REVIEW	04/30/2020	414.00
		0249935	2020 MISC ENGINEERING	04/30/2020	30.00
		0249936	2020 SEWER IMPROVEMENTS	04/30/2020	468.00
		0249937	2020 STREET IMPROVEMENTS	04/30/2020	712.00
		0250165	2019 SEWER PROJECT	04/30/2020	412.00
	Total BOLTON & MENK, INC.				2,036.00
CITY OF DEEPHAVEN					
9	CITY OF DEEPHAVEN	MAY 2020	RENT & EQUIPMENT	06/02/2020	487.45
			Postage		20.90
			COPIES		58.50
			WEED/TREE/MOWING		1,900.44
			Docks/BEACHES		381.39
			ZONING		1,846.23
			Clerk Services		3,426.48
	Total CITY OF DEEPHAVEN				8,121.39
DEBRA KIND					
761	DEBRA KIND	21020099	Zoom Video	05/17/2020	16.11
	Total DEBRA KIND				16.11
ECM PUBLISHERS INC					
822	ECM PUBLISHERS INC	776812	LEGAL NOTICE	05/21/2020	53.55
		777880	LEGAL NOTICE	05/28/2020	53.55
	Total ECM PUBLISHERS INC				107.10
GOPHER STATE ONE CALL					
68	GOPHER STATE ONE CALL	0050432	Gopher State calls	05/31/2020	47.25
	Total GOPHER STATE ONE CALL				47.25
INTERNET NETWORKX					
892	INTERNET NETWORKX	428534-2020	ANNUAL WEBSITE DOMAIN	05/04/2020	194.00
	Total INTERNET NETWORKX				194.00
KENNEDY, GRAVEN, CHARTERED					
850	KENNEDY, GRAVEN, CHARTERE	APRIL 2020	LEGAL SERVICES	04/30/2020	412.50
	Total KENNEDY, GRAVEN, CHARTERED				412.50
LMC INSURANCE TRUST					
255	LMC INSURANCE TRUST	40002878-20	Worker's Comp. Ins.	05/19/2020	200.00
	Total LMC INSURANCE TRUST				200.00
METRO COUNCIL ENVIRO SERVICES					
105	METRO COUNCIL ENVIRO SERV	0001109425	Monthly wastewater Charge	05/11/2020	2,774.73
	Total METRO COUNCIL ENVIRO SERVICES				2,774.73
REPUBLIC SERVICES #894					
893	REPUBLIC SERVICES #894	0894-005171973	RECYCLING SVCS	05/15/2020	1,981.45

Vendor	Vendor Name	Invoice No	Description	Inv Date	Net Inv Amt
Total REPUBLIC SERVICES #894					1,981.45
SO LAKE MINNETONKA POLICE DEPT					
38	SO LAKE MINNETONKA POLICE	JUNE 2020	2020 OPERATING BUDGET	06/01/2020	16,681.58
Total SO LAKE MINNETONKA POLICE DEPT					16,681.58
TIMBERWALL LANDSCAPE & MASONRY					
875	TIMBERWALL LANDSCAPE & MA	110113906	RIP RAP REPAIR	05/13/2020	120.69
Total TIMBERWALL LANDSCAPE & MASONRY					120.69
XCEL ENERGY					
145	XCEL ENERGY	683265795	Street Lights *	05/04/2020	389.32
		685886077	LIFT STATION #2	05/22/2020	43.80
		685892509	LIFT STATION #4	05/22/2020	43.68
		685900651	LIFT STATION #3	05/22/2020	42.38
		685910365	LIFT STATION #6	05/22/2020	41.08
		686086664	LIFT STATION #1	05/26/2020	45.35
		686108696	4925 MEADVILLE STREET *	05/26/2020	8.26
		686109696	SIREN	05/26/2020	3.58
Total XCEL ENERGY					617.45

Total Paid: 33,310.25

Total Unpaid: -

Grand Total: 33,310.25

Pay Per Date	Jrnl	Check Date	Check Number	Payee	Emp No	Description	GL Account	Amount
07/01/20	PC	07/01/20	701202001	CONRAD, KRISTI	39		001-10101	289.97
07/01/20	PC	07/01/20	701202002	COOK, WILLIAM B.	37		001-10101	289.97
07/01/20	PC	07/01/20	701202003	Fletcher, Thomas M	33		001-10101	189.97
07/01/20	PC	07/01/20	701202004	Kind, Debra J.	34		001-10101	434.95
07/01/20	PC	07/01/20	701202005	ROY, ROBERT J.	38		001-10101	289.97
Grand Totals:								<u>1,494.83</u>



Agenda Number: **2J**

Agenda Date: **07-07-20**

Prepared by *Deb Kind*

Agenda Item: 2nd Reading: Ord 298, Amending Construction Management Ordinance Section 305, Subd 1(b), Regarding Construction Hours

Summary: Residents on Meadville Street and Fairview Street have expressed concern about having new home construction in the area for several years in a row and facing another summer of new home construction. The residents have asked the city council to consider changing construction hours.

- Greenwood's current code: Work at construction sites shall be limited to 7am to 9pm Monday through Friday and 8am to 7pm on weekends and holidays.
- Shorewood's code (Excelsior has similar language): Construction hours are between 7:00 am and 7:00 pm on weekdays and 8:00 am and 6:00 pm on Saturdays. Construction is prohibited on Sundays.
- Edina's code: Construction hours for demolition and new residential building permits are: Monday through Friday from 7 a.m. to 7 p.m. Saturday from 9 a.m. to 6 p.m. Sundays and Holidays (New Year's Day, Memorial Day, Fourth of July, Labor Day, Thanksgiving and Christmas) - Construction is Prohibited.
- Proposed new language for Greenwood's code (see draft of ordinance attached): Work at construction sites shall be limited to the following hours: Monday through Friday from 7am to 7pm and Saturday from 9am to 6pm. Work at construction sites is prohibited on Sundays and the following holidays: New Year's Day, Memorial Day, Independence Day, Labor Day, Thanksgiving Day, and Christmas Day.

At the 03-04-20 City Council Meeting, the council reviewed the proposed ordinance and approved the following ...

Motion by Fletcher that the city council directs the planning commission review and make a recommendation regarding ordinance 298. Second by Conrad. Motion passed 3-0.

At the 05-13-20 Planning Commission Meeting, the planning commission reviewed the proposed ordinance. Their recommendation was unavailable at the time of assembling the 06-03-20 council packet. The planning commission minutes which include their recommendation regarding construction hours will be emailed to the city council separately.

At the 06-03-20 City Council Meeting, the council reviewed the proposed ordinance and approved the following ...

Motion by Conrad that the city council (1) approves the 1st reading of ordinance 298 amending the construction management ordinance code section 305 as written; and (2) directs the ordinance be placed on the next city council consent agenda for a 2nd reading. Second by Roy. Motion passed 5-0 on a roll-call vote.

At the 07-07-20 City Council Meeting, the council will consider the 2nd reading of the ordinance.

Timeline:

~~03-04-20 The city council discussed the proposed ordinance and approved sending it to the planning commission.~~

~~05-13-20 The planning commission reviewed the ordinance and made a recommendation.~~

~~06-03-20 City council considers 1st reading of the ordinance (may make revisions / may waive 2nd reading).~~

~~06-04-20 If the 2nd reading is waived, the ordinance is submitted to the Sun-Sailor for publication.~~

~~06-11-20 If the 2nd reading is waived, the ordinance is published in the Sun-Sailor (goes into effect on this date).~~

07-07-20 City council considers 2nd reading of the ordinance (may make revisions).

07-09-20 The ordinance is submitted to the Sun-Sailor for publication.

07-16-20 The ordinance is published in the Sun-Sailor (goes into effect on this date).

Consent Agenda Motion:

1. I move the city council (1) approves the 2nd reading of ordinance 298 amending the construction management ordinance code section 305 as written; and (2) directs staff to publish the ordinance in the city's official newspaper.

Greenwood code section 1215 requires 2 readings of all ordinances prior to adoption. The 2nd reading shall be within 3 months of the 1st reading. There may be changes between the 1st and 2nd readings. The 2nd reading may be waived by a unanimous vote of city council members present at the meeting. In order to publish an ordinance by title and summary the ordinance must be approved by a 4/5ths vote. Ordinances go into effect once they are published in the city's official newspaper. The planning commission must review and make a recommendation to the city council regarding any changes to the zoning code chapter 11. A public hearing, typically held by the planning commission, also is required for changes to chapter 11.

**AN ORDINANCE OF THE CITY OF GREENWOOD, MINNESOTA
AMENDING GREENWOOD CONSTRUCTION MANAGEMENT ORDINANCE SECTION 305
REGARDING CONSTRUCTION HOURS**

THE CITY COUNCIL OF THE CITY OF GREENWOOD, MINNESOTA DOES ORDAIN:

SECTION 1.

Greenwood ordinance code section 305, subd 1(b) is amended to read as follows:

~~Work at construction sites shall be limited to 7am to 9pm Monday through Friday and 8am to 7pm on weekends and holidays.~~

Work at construction sites shall be limited to the following hours: Monday through Friday from 7am to 7pm and Saturday from 9am to 6pm. Work at construction sites is prohibited on Sundays and the following holidays: New Year's Day, Memorial Day, Independence Day, Labor Day, Thanksgiving Day, and Christmas Day.

SECTION 2.

Effective Date. This ordinance shall be effective upon publication according to law.

Enacted by the city council of Greenwood, Minnesota this ___ day of _____, 2020.

___ AYES ___ NAYS

CITY OF GREENWOOD

By: _____
Debra J. Kind, Mayor

Attest: _____
Dana H. Young, City Clerk

First reading: June 3, 2020
Second reading: July 7, 2020
Publication: July 16, 2020

RESOLUTION NO 20-20

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GREENWOOD, MINNESOTA

A RESOLUTION APPOINTING THE 2020 STATE PRIMARY AND GENERAL ELECTION JUDGES AND ESTABLISHING HENNEPIN COUNTY AS THE ABSENTEE BALLOT BOARD

WHEREAS, Minnesota Election Laws 204B.21 requires the certification of Election Judges for the State Primary Election and General Election to be appointed by the governing body of the municipality at least 25 days before the election.

WHEREAS, the City of Greenwood has one voting precinct and the City Hall will serve as the absentee ballot center for the residents of Greenwood; and

WHEREAS, Minn. Statute Section 203B.121 stated that an Absentee Ballot Board must be established by the City to facilitate the absentee process for an upcoming election;

NOW, THEREFORE BE IT RESOLVED that the Greenwood City Council hereby appoints the individuals named below to officiate at the State Primary and General Elections:

Susan Allen	Mary Jo Newman
Susan Teeter	Diane Shelgren
Bonnie Lane	Val Steussi
Judy Spiegel	

BE IT FURTHER RESOLVED the City Clerk is authorized to make substitutions and additions to the Election Judge Roster as deemed necessary in order to fill vacancies and meet party splits;

BE IT FURTHER RESOLVED Minn. Statute Section 204B.31 states payment of a wage for each hour spent performing election duties at the polling place and in attending sessions required for election judge training, plus mileage in the same amount as allowed pursuant to section 471.665, subd. 1 to conduct the 2016 Primary & General Election: Election Judges: \$9.00 per hour; Head Judges: \$9.50 per hour; Mileage: Set by City Council Resolution; and

BE IT FURTHER RESOLVED the Greenwood City Council also appoints City Election Officials and approves all members appointed to the Hennepin County Absentee Ballot Board as authorized under Minn. Stat. 204B.21, Subd. 2, under the direction of the Election Manager to serve as the Greenwood Absentee Ballot Board as required by Minn. Stat. 203B.121.

PASSED this 7th day of July, 2020 by the city council of the city of Greenwood, Minnesota.

___ AYES ___ NAYS

CITY OF GREENWOOD

By: _____
Debra J. Kind, Mayor

Attest: _____
Dana H. Young, City Clerk



**City of Greenwood
Resolution 21-20**

A RESOLUTION DESIGNATING THE POLLING PLACE FOR THE PRECINCT WITHIN THE CITY OF GREENWOOD

WHEREAS, Minnesota State Statute section 204B.16, subdivision 1 requires the governing body of each municipality to designate by ordinance or resolution a polling place for each election precinct by December 31 of each year.

NOW THEREFORE BE IT RESOLVED that the city council of the city of Greenwood, county of Hennepin, and state of Minnesota hereby designates the following polling place for precinct 1 within the city of Greenwood:

PRECINCT 1

Old Log Theatre, 5175 Meadville St, Greenwood, MN 55331

ADOPTED by the city council of Greenwood, Minnesota this 7th day of July, 2020.

___ AYES ___ NAYS

CITY OF GREENWOOD

By: _____
Debra J. Kind, Mayor

Attest: _____
Dana H. Young, City Clerk

LIABILITY COVERAGE – WAIVER FORM

Members who obtain liability coverage through the League of Minnesota Cities Insurance Trust (LMCIT) must complete and return this form to LMCIT before the member's effective date of coverage. Return completed form to your underwriter or email to pstech@lmc.org.

The decision to waive or not waive the statutory tort limits must be made annually by the member's governing body, in consultation with its attorney if necessary.

Members who obtain liability coverage from LMCIT must decide whether to waive the statutory tort liability limits to the extent of the coverage purchased. The decision has the following effects:

- *If the member does not waive the statutory tort limits, an individual claimant could recover no more than \$500,000 on any claim to which the statutory tort limits apply. The total all claimants could recover for a single occurrence to which the statutory tort limits apply would be limited to \$1,500,000. These statutory tort limits would apply regardless of whether the member purchases the optional LMCIT excess liability coverage.*
- *If the member waives the statutory tort limits and does not purchase excess liability coverage, a single claimant could recover up to \$2,000,000 for a single occurrence (under the waive option, the tort cap liability limits are only waived to the extent of the member's liability coverage limits, and the LMCIT per occurrence limit is \$2,000,000). The total all claimants could recover for a single occurrence to which the statutory tort limits apply would also be limited to \$2,000,000, regardless of the number of claimants.*
- *If the member waives the statutory tort limits and purchases excess liability coverage, a single claimant could potentially recover an amount up to the limit of the coverage purchased. The total all claimants could recover for a single occurrence to which the statutory tort limits apply would also be limited to the amount of coverage purchased, regardless of the number of claimants.*

Claims to which the statutory municipal tort limits do not apply are not affected by this decision.

LMCIT Member Name:

Check one:

- The member **DOES NOT WAIVE** the monetary limits on municipal tort liability established by [Minn. Stat. § 466.04](#).
- The member **WAIVES** the monetary limits on municipal tort liability established by [Minn. Stat. § 466.04](#), to the extent of the limits of the liability coverage obtained from LMCIT.

Date of member's governing body meeting: _____

Signature: _____ Position: _____



Agenda Number: 2L

Agenda Date: 07-07-20

Prepared by Deb Kind

Agenda Item: Consider Excelsior Park & Dock Patrol Proposal

Summary: This is a routine request regarding South Lake Minnetonka Police Department providing seasonal police service to the city of Excelsior for their parks and docks. Attached is Chief Meehan's memo regarding the service. Excelsior will pay for all costs associated with the seasonal service. The joint powers agreement requires that all member cities approve supplemental services.

If the city council wishes to discuss this topic further, it will need to be removed from the consent agenda.

Consent Agenda Motion:

I move the city council approves the plan for South Lake Minnetonka Police Department to provide 2020 park and dock patrol services for the city of Excelsior.



South Lake Minnetonka Police Department

TO: City of Excelsior
City of Shorewood
City of Tonka Bay
City of Greenwood

FROM: Chief Mike Meehan

DATE : June 25th, 2020

RE: 2020 Excelsior Park & Dock Patrol

Since the early 1980's, the City of Excelsior has contracted with the South Lake Minnetonka Police Department (SLMPD) for park and dock patrol services. The Joint Powers Agreement allows member cities to contract with the SLMPD for additional services, as long as the proposed services do not use existing SLMPD staffing hours. All costs are the responsibility of the contracting city and the other member cities must approve the agreement.

Please submit the proposed Park and Dock agreement between the City of Excelsior and the SLMPD on the agenda for approval at the next city council meeting.

Attached is a breakdown of the proposed 2020 Park and Dock Patrol budget.

Please contact me if you have any questions or concerns.



SOUTH LAKE MINNETONKA POLICE DEPARTMENT

Excelsior Park and Dock Patrol Services

2020 Summer Season

SLMPD Proposal - Projected Budget

Part-Time Seasonal Positions	Projected Hours 2019	Hourly Rate Total	Total Amount
Park Service Officer - Commons Park <i>Civilian Position - Patrol Commons Park and Adjacent Residential/Business Areas</i>	725	\$21.97	\$15,928
Park Service Officer - Municipal Docks <i>Civilian Position - Patrol Port of Excelsior and Municipal Docks</i>	200	\$21.97	\$4,394
Total	925		\$20,322
Projected Budget - 2020 season*	1,020		\$20,322
Actual Total Cost - 2019 Season*	928		\$18,748

*Included Uniforms, Gear & Training



Agenda Number: **4A**

Agenda Date: **06-03-20**

Prepared by *Deb Kind*

Agenda Item: Dave Martini, 2020 Engineering Projects

Summary: City Engineer Dave Martini will attend the city council meeting to discuss potential 2020 engineering projects. See the attached letter from Dave.

Below are city fund balances as of **03-31-20** that may be used for any city purpose:

- \$345,571** *Sewer Enterprise Fund* (interfund transfer OUT code 602-43200-720, capital outlay code 602-43200-530, engineering code 602-43200-303)
- \$35,808** *Stormwater Special Revenue Fund* (interfund transfer OUT code 502-43200-720, interfund transfer IN code 502-34405, capital outlay code 502-43200-530, engineering code 502-43200-303)
- \$191,244** *Bridge Capital Project Fund* (general fund transfer OUT to bridge fund code 101-49000-500, interfund transfer IN code 403-39200, capital outlay 403-45100-530, engineering code 403-45100-303)
- \$159,068** *Road Improvement Fund* – Includes \$124,000 from **2020** general fund budget to be transferred to the road improvement fund plus the \$35,068 current road improvement fund balance (general fund transfer OUT to road fund code 101-43200-500, interfund transfer IN code 404-36230, capital outlay 404-45100-100, engineering code 404-45100-303)
- \$4,000** *2020 Contingency Budget* (general fund code 101-49000-439)

In addition, below is the General Fund Reserve balance as of 12-31-19. Reserve funds may be used for any city purpose:

- \$505,443** *General Fund Reserves* (interfund transfer OUT code 101-43200-500) – This number is approximately 65.01% of operating expenditures. Goal is 35-50%.

County Aid to Municipalities: In 1957, Hennepin County established a County Aid to Municipalities (CAM) program to provide financial assistance for roadways and bridges to cities with populations under 5,000. Typically, the funding is between \$1,000 and \$3,000 per year. The city must submit a project approval form to receive the funds.

Council Action: No action required. Potential motions ...

1. I move the city council authorizes the city engineer to secure bids for the following projects:

2. I move the city council authorizes the city engineer to submit the project approval form to receive County Aid to Municipalities (CAM) program money for 2020.
3. Do nothing or other motion ???



Real People. Real Solutions.

2638 Shadow Lane
Suite 200
Chaska, MN 55318-1172

Ph: (952) 448-8838
Fax: (952) 448-8805
Bolton-Menk.com

June 25, 2020

City of Greenwood
Attn: Mayor and City Council
20225 Cottagewood Road
Deephaven, MN 55331

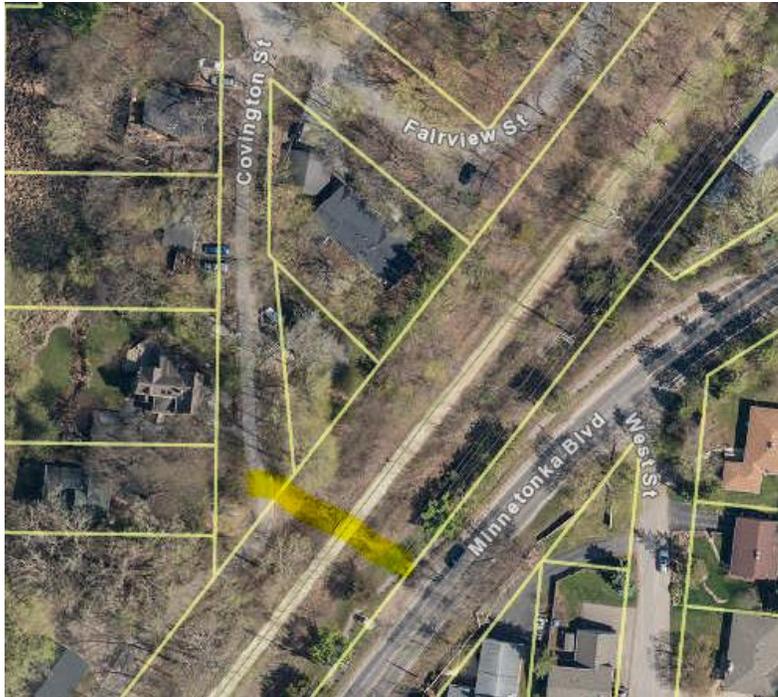
RE: 2020 Street Improvements Update

Mayor and City Council:

As directed, we have continued to review the projects that the City Council is considering for completion in 2020.

Minnetonka Blvd. Trail - Based on our review, we offer the following comments for your consideration:

1. Paved connections to the regional trail from Covington Street and the city trail along Minnetonka Blvd. can be constructed. The connections will require filling in the ditches adjacent to the regional trail and will require culverts to maintain drainage. The estimated cost for these connections is **\$28,200**.



2. Widening the shoulder along Minnetonka Blvd. for trail purposes across from Curve Street is possible but will require removal of some trees and shrubs, grading, and construction of retaining wall. There is also at least one utility pole that will need to be moved. The estimated cost for the improvements is **\$70,860**.



3. Reconstructing the trail east of Sleepy Hollow Road to reshape the trail to force water out onto Minnetonka Blvd. is possible. The trail can also be reconstructed across from St. Albans Bay Road to lessen the elevation difference between the trail and the road. The estimated cost of this work is **\$48,200**.



Linwood Circle - Based on further review of this road, it is recommended that the road be resurfaced with a width of approximately 15'. There is currently construction activity happening adjacent to the road, so it is recommended that the improvements be coordinated with the timing of resurfacing on Minnetonka Blvd. in the future. The estimated cost of the improvements is **\$66,000**.



Meadville Street / Fairview Street Curb – Bituminous curbing is proposed along Meadville Street and Fairview Street to improve drainage. I will be working with the adjacent property owners to determine if bituminous curbing will be satisfactory or if they are interested in paying for concrete curb and gutter. The estimated construction cost for bituminous curbing is \$10/foot. The estimated cost for concrete curb and gutter is \$45-\$50/foot.



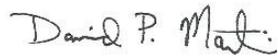
2020 Street Improvements
June 25, 2020

Miscellaneous Patching is needed at various locations. It is recommended that the extent of patching work be set based on the City's budget.

I will be participating in the City Council meeting on July 7th to discuss this information. Please let me know if you have questions or need additional information before the meeting.

Sincerely,

Bolton & Menk, Inc.

A handwritten signature in black ink that reads "David P. Martini". The signature is written in a cursive style with a period after the first name and a colon after the last name.

David P. Martini, P.E.
Principal Engineer



Agenda Item: Consider the variance requests of Colin Sievers to encroach into the front and side yard setbacks, exceed the maximum wall height, remove more than 20% of the trees, and to exceed the hardcover percentage in conjunction with the construction of a new house located at 5270 Meadville Street.

Summary: Colin Sievers, property owner, is proposing to raze the existing house and is requesting five variances to build a new house on the property. The property is zoned R-1, is 7,327 square feet in area and is 50 feet wide. The existing house, built in 1915 according to Hennepin County records, predates the City’s Zoning Ordinance and is nonconforming in terms of front yard and side yard setbacks and hardcover. The proposed layout will orientate the house in the middle of the site and significantly improved the north side yard setback while slightly increasing the nonconforming front yard setback and total hardcover.

The table below compares the required, existing and proposed setbacks, hardcover and building height.

	Permitted/Required	Existing	Proposed
Front Yard Setback	30 feet	29.7 feet	21.2 feet
Side Yard Setback (north)	10 feet	0 feet	8 feet
Side Yard Setback (south)	10 feet	22 feet	10 feet
Lake Yard Setback	50 feet	60 feet	57 feet
Impervious Area (max.)	32.67%	36.8%	37.7%
Building Volume (max.)	43,962 CF	unknown	41,008 CF
Building Height (max.)	28 feet	23 feet	24.1 feet

Side Yard Setback

The zoning code requires side yard setbacks of 10 feet for the 50-foot wide lot. The house is proposed to have a 10-foot side yard setback to the south property line, and an 8-foot side yard setback to the north property line. The existing house has a zero side yard setback on the north side.

The proposed house is 32 feet wide for the main portion of the house, with a two-foot bump-out on the north side. Only the bump-out will encroach into the side yard setback. Because the bump-out is only for the first floor, it constitutes about 25% of the north elevation. In other words, roughly 75% of the north elevation will still meet the 10-foot setback requirement.

The proposed house is a significant improvement over existing condition.

Front Yard Setback

The zoning code requires a 30-foot front yard setback. The existing house is nonconforming with a 29.7-foot front yard setback. The applicant is proposing a setback of 21.2 feet resulting in an encroachment of 8.8 feet. Because Meadville right-of-way, is significantly larger than the street itself, the proposed house will still be setback 42 feet from the street.

Building Wall Height

Section 1120.20 of the zoning code limits the wall height of a principal structure to 1.5 times the applicable side yard setback distance. For example, the maximum wall height for a principal structure located 15 feet from the side property line is 22.5 feet. Exhibit D of the applicant’s plans shows the wall heights of the proposed house. The

projection on the north side of the house, which is setback eight feet from the north property line, meets the wall height requirement. The garage portion of the north elevation is setback 10 feet from the north property line, but is 19 feet/1 inch in height. Thus, a variance of 4 feet/1 inch for the wall height limit is required. The proposed wall heights are similar to the wall heights of the recent house addition to the north and the new house to the south.

Hardcover Percentage

The zoning code limits the impervious area for a property of this size to 32.7%. Currently, the site has a hardcover of 36.8%. The existing house, constructed in 1915, has a one-car garage with a narrow driveway. The proposed deck, house and driveway result in a hardcover of 37.7%, an increase of 0.9% over existing conditions. A second stall garage with the associated driveway adds 641 square feet of hard cover, which represents a hardcover increase of 8.7%.

Trees

There are six significant trees on the site. The applicant is proposing to remove two of the six significant trees on site. The propose trees to be removed are the 8” Norway maple near the front of the proposed house and the 12” pine tree near the southwest corner of the proposed house. The applicant is saving the 20-inch burr oak tree at the rear of the house, which is the most significant tree on the site.

Building Volume

The subject property is 7,327 square feet in size. The proposed house would have an above grade building volume of 41,008 cubic feet. Maximum allowable building volume for the property is 43,962 cubic feet.

For the sake of comparison, some similar properties in Greenwood that have recently been reviewed by the City Council:

- 5130 Meadville (Krezowski): Lot size - 7,113. Max building volume - 42,678. Permitted building volume - 43,589
- 5260 Meadville (Kroening): Lot size – 7,234. Max building volume – 43,404 Permitted building volume - 48,215
- 5185 Greenwood Circle (Getchell): Lot size - 6,478. Max building volume – 38,868. Permitted building volume – 36,503 (*No variance requested.*)

Even though the subject property is larger than the properties at 5130 Meadville and 5260 Meadville, the proposed house is smaller than the houses constructed at 5130 and 5260 Meadville Street.

VARIANCE REVIEW CRITERIA

Minn. Stat § 462.357, subd. 6(2) requires the City’s Board of Appeals and Adjustments evaluating a variance request to make the following inquiries:

Is the variance in harmony with the purpose and intent of the ordinance?

Staff Comment: The applicant has designed a modest-size house, smaller than recent houses built on smaller lots along Meadville Street. The proposed encroachments are minor and remain in harmony with the purpose and intent of the ordinance.

Is the variance consistent with the comprehensive plan?

Staff Comment: The request is consistent with the Comprehensive Plan, which encourages, safe, healthy, and quality housing that respects the natural environment of the community.

Does the proposal put property to use in a reasonable manner?

Staff Comment: The hardcover increase is due solely to adding a second car garage. A two-car garage is a reasonable use in Greenwood. In addition, the house at 41,008 cubic feet is smaller than recent houses constructed on smaller lots along Meadville Street. Finally, the front and side yard encroachments are minimal projections of the house.

Are there unique circumstances to the property not created by the landowner?

Staff Comment: Yes. At 50 feet wide, it is extremely challenging to have a two-car garage with an attractive street presence within the 30 feet that is allowed by the zoning ordinance. The requested variances result in a house design that will be more attractive for the community than if the house strictly met the zoning code regulations.

Will the variance, if granted, alter the essential character of the locality?

Staff Comment: No, the proposal would not alter the essential character of the locality. The proposed project is of a scope and scale comparable to the existing conditions on neighboring properties. The house will still be setback 42 feet from the street. The proposed wall heights are similar to the wall heights of the recent house addition to the north.

PUBLIC COMMENT

Staff sent a public notice to all property owners within 350 feet of the subject site prior to the Planning Commission meeting of June 10, 2020. No comments have been received.

STAFF RECOMMENDATION

The proposed house eliminates a significant non-conforming side yard setback while proposing a relatively modest house with small projections of the house encroaching into the required front and side setbacks.

Staff recommends approval of the variance requests of Colin Sievers to encroach 2 feet into north side yard setback, 8.8 feet front yard setback, exceed the maximum required impervious surface percentage by 5.03%, exceed the maximum building wall height by 4.1 feet, and exceed the number of trees allowed to be removed for a new house located at 5270 Meadville Street, as proposed.

PLANNING COMMISSION ACTION TAKEN ON JUNE 10, 2020

The Planning Commission recommend:

- Approval of the wall height variance of 19 feet/1 inch (4/0 vote).
- Denial of the hardcover variance (3/1 vote).
- Approval of the front yard variance of 3.2 feet but would support a greater encroachment in order to move the house farther from Lake Minnetonka (4/0 vote).
- Approval of exceeding the number of trees removed by one (4/0 vote).
- Approval of a side yard setback of 8 feet (3/1 vote).

CITY COUNCIL ACTION REQUESTED: Possible motions ...

1. I move the City Council adopts resolution 19-20 laying out the findings of fact **APPROVING** the variances to exceed the wall height by 4 feet/1 inch, exceed the hardcover limit by 0.9%, encroach into the north side yard setback by 2 feet, encroach into the front yard setback by 8.8 feet, and exceed the number of trees removed by one. I further move the Council directs the city clerk to mail a copy of the findings to the applicant, and place an Affidavit of Mailing for each of the mailings in the property file.
2. I move the City Council exercises its authority to take an additional 60 days to take action to give staff time to draft **FINDINGS FOR DENIAL** of the variance request of Colin Sievers, 5270 Meadville Street, to be considered at the August 5, 2020 City Council meeting.

Attachments:

- 1) Variance Application
- 2) Location Map
- 3) Existing photos
- 4) Existing Survey
- 5) Proposed Survey
- 6) Building Perspectives
- 7) Building Plans
- 8) Engineering Memo
- 9) Public Comments

Key Dates:

~~Application complete:~~ ~~May 20, 2020~~
~~Notice of Public Hearing published:~~ ~~May 28, 2020~~
~~Planning Commission Public Hearing:~~ ~~June 10, 2020~~
City Council Consideration: July 7, 2020
60-Day Deadline: July 18, 2020
120-Day Deadline: September 16, 2020

Location Map - 5270 Meadville St



03/20/2015 - 06/09/2015

LEGAL DESCRIPTION:

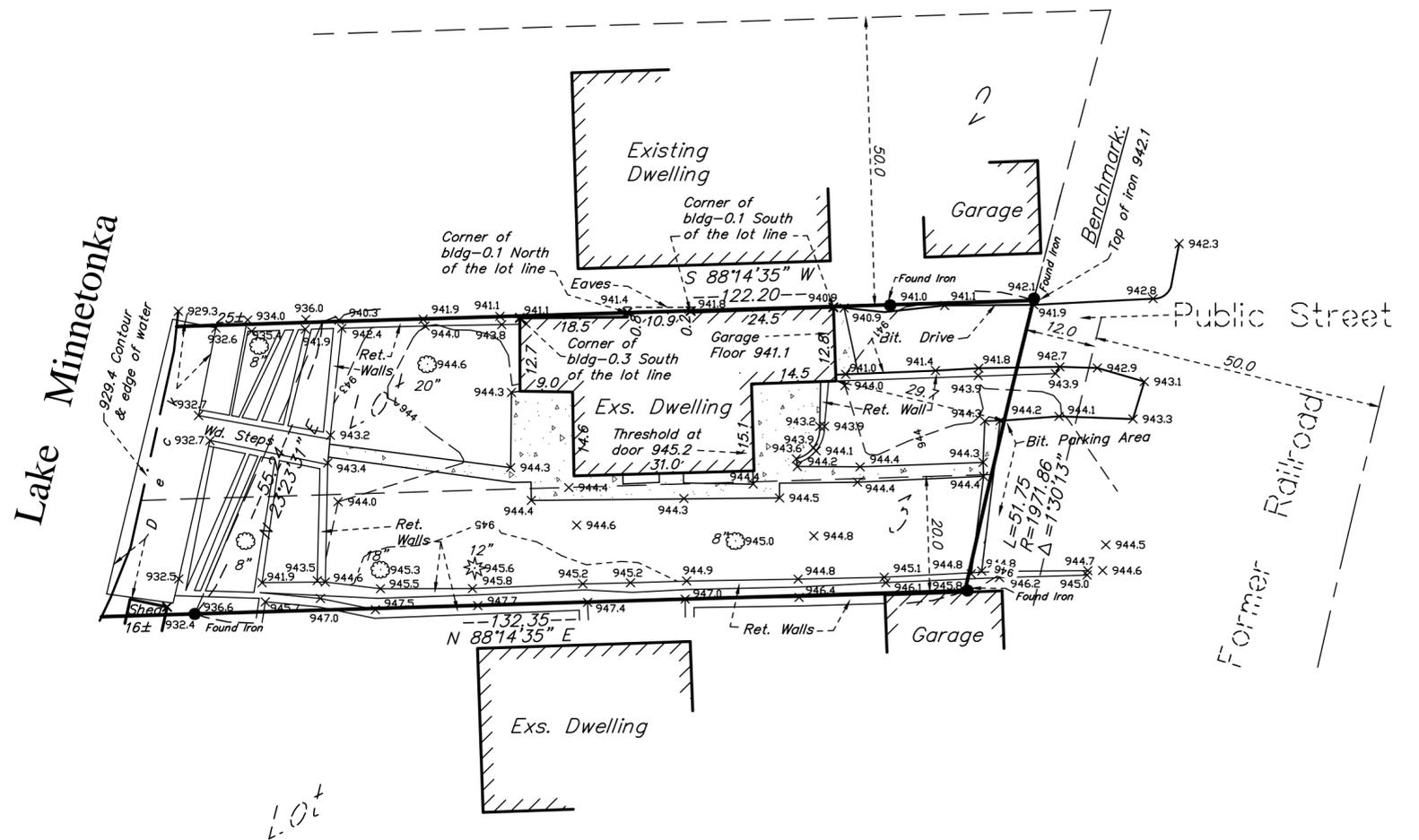
That part of Lot 2, lying South of the North 50 feet thereof; also the northerly 20 feet of Lot 3, SOLBERG'S POINT, Hennepin County, Minnesota.

SCOPE OF WORK & LIMITATIONS:

1. Showing the length and direction of boundary lines of the legal description listed above. The scope of our services does not include determining what you own, which is a legal matter. Please check the legal description with your records or consult with competent legal counsel, if necessary, to make sure that it is correct and that any matters of record, such as easements, that you wish to be included on the survey have been shown.
2. Showing the location of observed existing improvements we deem necessary for the survey.
3. Setting survey markers or verifying existing survey markers to establish the corners of the property.
4. Showing and tabulating impervious surface coverage of the lot for your review and for the review of such governmental agencies that may have jurisdiction over these requirements to verify they are correctly shown before proceeding with construction.
5. Showing elevations on the site at selected locations to give some indication of the topography of the site. We have also provided a benchmark for your use in determining elevations for construction on this site. The elevations shown relate only to the benchmark provided on this survey. Use that benchmark and check at least one other feature shown on the survey when determining other elevations for use on this site or before beginning construction.
6. This survey has been completed without the benefit of a current title commitment. There may be existing easements or other encumbrances that would be revealed by a current title commitment. Therefore, this survey does not purport to show any easements or encumbrances other than the ones shown hereon.
7. Note that all building dimensions and building tie dimensions to the property lines, are taken from the siding and or stucco of the building.

STANDARD SYMBOLS & CONVENTIONS:

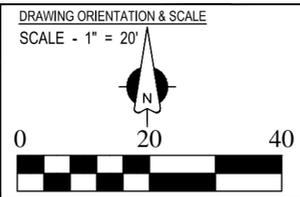
"●" Denotes iron survey marker, set, unless otherwise noted.



EXISTING HARDCOVER	
House	1,156 Sq. Ft.
Existing Deck	496 Sq. Ft.
Bituminous Driveway	328 Sq. Ft.
Neighbor's Shed	14 Sq. Ft.
Concrete Surfaces	705 Sq. Ft.
Ret. Walls	554 Sq. Ft.
TOTAL EXISTING HARDCOVER	3,253 Sq. Ft.
AREA OF LOT TO OHW	7,327 Sq. Ft.
PERCENTAGE OF HARDCOVER TO LOT	44.4%

LEGEND	
	= CATCH BASIN
	= FIRE HYDRANT
	= POWER POLE
	= MANHOLE
	= TELEPHONE PED.
	= ELEC. TRANSFORMER
	= WELL
	= GATE VALVE
	= LIGHT POLE
	= TREE
	= FENCE LINE
	= SANITARY SEWER LINE
	= WATER LINE
	= GAS LINE
	= STORM DRAIN LINE
	= OVERHEAD UTILITY LINE
	= CONCRETE SURFACE

DATE	REVISION DESCRIPTION



CLIENT NAME / JOB ADDRESS
TAMMY MAGNEY
5270 MEADVILLE STREET
GREENWOOD, MN

Advance
Surveying & Engineering, Co.
17917 Highway 7
Minnetonka, Minnesota 55345
Phone (952) 474-7964
Web: www.advsur.com

I HEREBY CERTIFY THAT THIS PLAN, SURVEY OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.
Thomas M. Bloom
42379
LICENSE NO.
JULY 3, 2018
DATE

DATE SURVEYED: JUNE 29, 2018
DATE DRAFTED: JULY 3, 2018

SHEET TITLE
EXISTING CONDITIONS SURVEY
DRAWING NUMBER
180601 TB

SHEET SIZE 17 X 22
SHEET NO.
S1
SHEET 1 OF 1





HALQUIST
STONE
FDL BURY LEISURE TRIM
0 116936

626
om

VARIANCE SUBMITTAL

Planning Commission - *MAY 15, 2020*

Revised for City Council – June 7, 2020

SIEVERS HOME

5270 MEADVILLE STREET, GREENWOOD, MN

TABLE OF CONTENTS

- Narrative, Plans and Images
- Variance Request
- Neighborhood Plan Study Exhibit A
- Neighborhood Elevation Study Exhibit B
- Site Plan, Hardcover, Volume, Setbacks Exhibit C
- Wall Height Exhibit D
- Attachment, full set of pre-construction plans

NEW HOME

5270 Meadville Street, Greenwood, MN 55331

Owner: Colin Sievers

Lot and Home Facts:

- Site is a small 50' wide x 122' long lot for a total of 7327 SF
- House is 1121 SF Main Level + 540 SF Garage, Total Foundation Footprint 1761 SF

Study:

The first approach was to remodel the existing home. See site study Exhibits A and B. The location of the house on the property did not fit within the city's ordinance intent for Greenwood, the structural integrity for the existing foundations and the accessibility of the lower level garage were all key factors in choosing to build new. In lieu of remodeling the current house which sits on the north property line, this proposal will demo the existing house and center the house on the lot which in early meetings with the city planner was encouraged.

Design:

The home is a two-story warm, contemporary Scandinavian-style design featuring an efficient open floor plan to create a more spacious feel. Both the main and upper floors open up to outdoor living spaces that celebrate the location and spectacular views of Lake Minnetonka. The allowable area within the setback grants living space, eating space, kitchen, mudroom and two-car garage on the main level. Three primary bedrooms are located on the second floor, with guest bedrooms and gathering area on the below-grade lower level, which utilizes window wells for natural daylighting.

Project Understanding: Greenwood Ordinances

Throughout the entire planning and design process, the Owner has been very mindful of the vision set forth by the City of Greenwood to *"preserve and enhance the quality of residential neighborhoods"* and shares in the belief that the *"unique character of the residential neighborhoods in Greenwood rests largely on the diversity of style and design of houses as well as the general uniformity in the scale of houses located on similarly sized lots in neighborhoods throughout the community."* The overall style and design of the home reflect not only the Owner's dream for a future home on Lake Minnetonka, but also that of Greenwood's desire for unique homes that respect the neighborhood and honor the community.



Street view

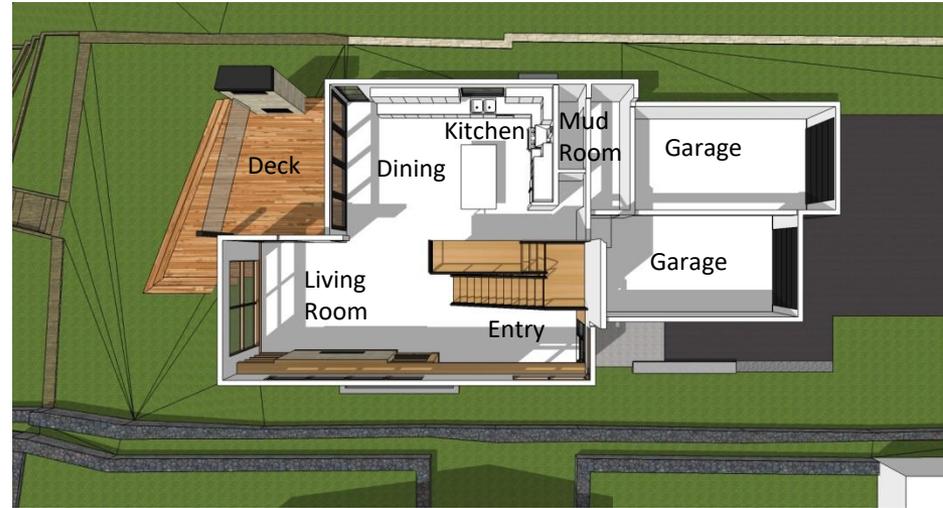


Lake view

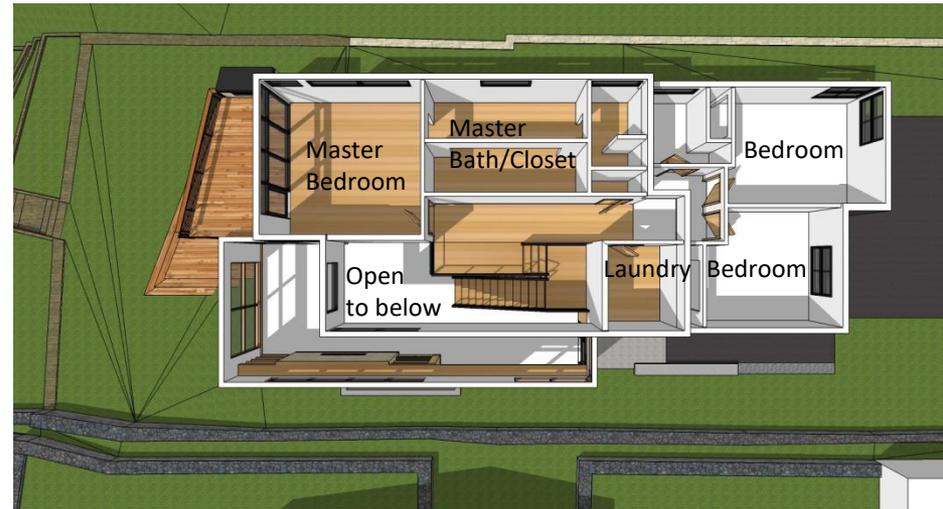
NARRATIVE



Site Plan



First Floor Plan



Second Floor Plan

PLANS AND IMAGES



East Elevation



North Elevation



West Elevation



South Elevation

PLANS AND IMAGES

The variance process in section 1155 is used to address unique lots and balance the property owner's wants with the community's needs. Considerations include but are not limited to the following: impact on the neighborhood setting, impact on environment, topography, steep slopes, vegetation, lakes, ponds, streams, and susceptibility to erosion and sedimentation

Because of the small buildable lots along Meadville Street, meeting all the City ordinances are very difficult and the Owner has diligently worked to fall within these ordinances as much as possible. Both new homes currently under construction on the small lots on Meadville Street have been granted variances to allow the Owners to build a home meeting the needs of today's families and fall in line with the quality of single-family residences in Greenwood.

Colin Sievers respectfully requests consideration of the following variance items:

1. Hardcover increase to 37.7% (reduced from 39.6% after planning commission meeting) , allowable 32.67%, please see Site Plan attached, Exhibit C.

The hardcover is limited to the building roof , driveway and a concrete sidewalk leading to the front door and a small lower deck stair section. Additional onsite parking, patios, accessory structures have not been proposed keeping the square footage of hard cover as low as possible. The hardcover total also includes a portion of the neighbors shed which is on the Siever's property.

2. A partial 8-foot setback in lieu of a 10-foot setback on the north side of the property along the 33-foot kitchen/dining portion of the house. Refer to Exhibit C.

The existing house originally built in 1915 is currently on the lot line. The new house proposal will afford the neighbors at 5260 Meadville an 8' space between the lot line and the 7' -9" setback for their house, more than doubling the distance between the two homes. The 8' setback along the kitchen and a 10' setback along the garage will also reduce the continuous length of the house encouraged in the ordinance to reduce the length of the house by stepping it back (1120.16 Subd 3.B). This is similar to what the neighbors next door proposed, and were granted, for the side yard setback at 5260 Meadville Street. This request also falls in line with 1120.16 Subd.1, where the ordinance calls out that no side yard setback shall be less than 8'. (1120.16 Subd. 1: The interior side yard setback is 15 ft for lot with an average lot width of 75 ft or more. For a lot with an average lot width less than 75 ft, the side yard setback is 20% of the average lot width; provided, however, that in no event shall a side yard setback be less than 8 ft.)

3. A 21' (reduced from 26' after planning commission request to move house forward on lot and ordinance change by city council for decks to be 50' back from lakeshore) foot diagonal setback along the east side of the house at the garage. Refer to Exhibit C.

The property line runs at an angle to the parallel side yard lot line. In order to achieve the proper length for the garage stalls, the house needs to step into the angled setback line at the southeast corner of each garage stall. The garage is stepped to stay within the setbacks as much as possible.

4. Wall height variance of 4' -2" or a total of 19' -2" , allowable 15' -0" (1.5 (Section 1120.20b) x 10' setback).

Verify: Wall height at 10' setback is 9' 6" at soffit and 19'2" at top of wall (flat roof dormer).

The design of the house is a flat roof. Because of the small lot and tight buildable main floor area, bedrooms need to be provided on the upper and lower levels. This is not a walkout lot, and the lower level rooms are not satisfactory master and primary bedroom areas. Working within the definitions of the ordinance, the garage height and bedrooms above the garage have been kept to minimum height and soffits have been provided to break up the horizontal proportions of the house. In a gabled roof house, soffits are used to create dormers in the same vertical line as the wall below (example 5260 Meadville) and in this case the lower soffit line defines the wall height. See images.

VARIANCE REQUEST

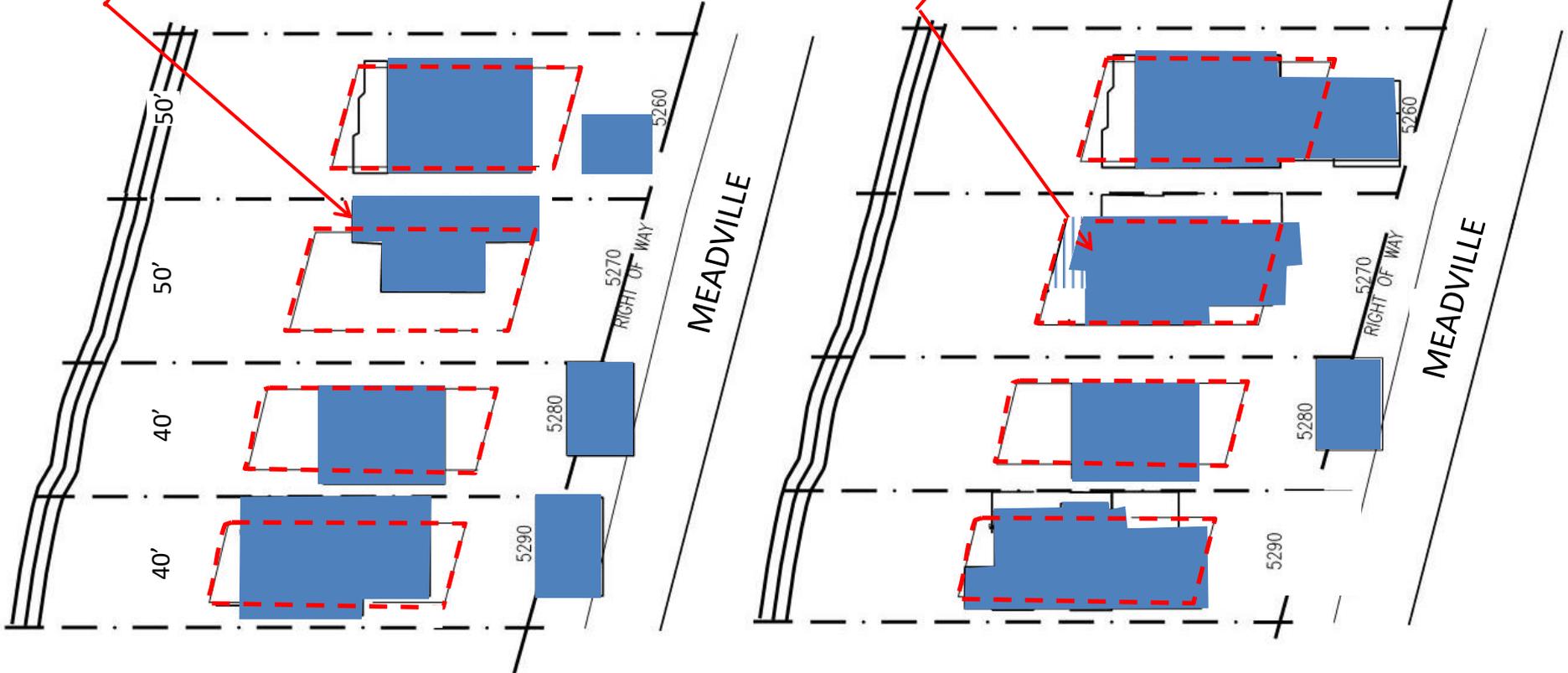
NEIGHBORHOOD CONTEXT SITE STUDY

RED dashed line indicates setbacks as described in Greenwood ordinances

BLUE shape indicates foundation footprint of each house before construction in 2018 and current/future construction in 2020.

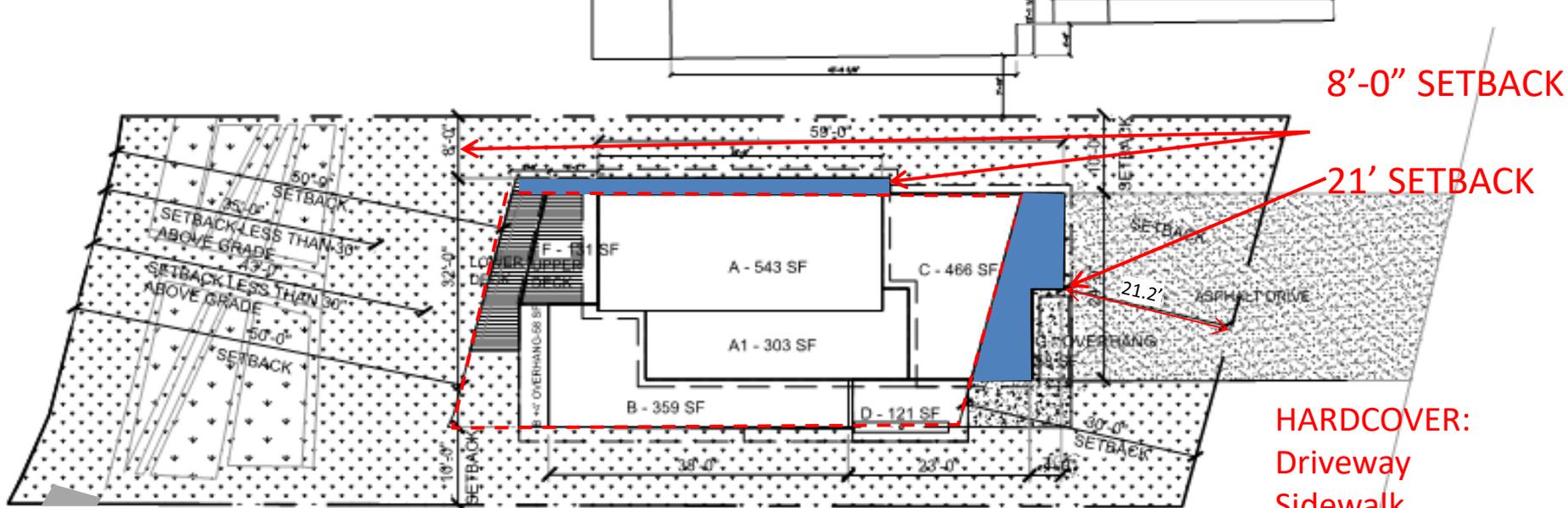
Current house sits outside the desired setbacks

Proposed House, centered on lot



Neighborhood in 2018

Current and Proposed 2020



8'-0" SETBACK

21' SETBACK

HARDCOVER:
Driveway
Sidewalk
House
Deck

Corner of
Neighbors Shed

LEGEND	
	PROPERTY LINE
	SETBACK LINE
	ROOF EDGE
	FOUNDATION / WALL
	DECK
	CONCRETE SIDEWALK
	ASPHALT DRIVEWAY
	TURF
	PLANTING BED PERMEABLE
	AREA OVER SETBACK

HARD COVER	
1719 SF HOUSE	
282 SF DECK	
493 SF BITUMINOUS DRIVEWAY	
14 SF NEIGHBORS SHED	
<u>253 SF CONCRETE SURFACES</u>	
2,761 SF TOTAL	
NEW HARD COVER = 37.7%	
ALLOWABLE HARDCOVER	
7327 SF EXG LOT x .001 = 7.327, 40 - 7.327 = 32.67%	
2394 ALLOWABLE SF HARDCOVER	

FINISHED SQUARE FOOTAGE	
1660 SF LOWER LEVEL	
1121 SF MAIN FLOOR	
<u>1317 SF SECOND FLOOR</u>	
4,098 SF	
UNFINISHED SQUARE FOOTAGE	
540 SF GARAGE	
OUTDOOR SPACE SQUARE FOOTAGE	
188 SF PORCH	
163 SF MAIN FLOOR DECK	
134 SF SECOND FLOOR DECK	
108 ENTRY CANOPY	

VOLUME		
AREA	T.O.F TO B.P.G.	CUBIC FEET
1724 SF X 1.2 FT HIGH		= 2,068 CF FOUNDATION WALL
AREA	HT TO T.O.F	CUBIC FEET
543 SF X 22.33 FT HIGH		= 12,125 CF AREA A
303 SF X 14.66 FT HIGH		= 4,442 CF AREA A1
359 SF X 14.66 FT HIGH		= 5,791.0 CF AREA B
58 SF X 14.66 FT HIGH		= 850 CF AREA B OVERHANG
466 SF X 19 FT HIGH		= 8,840.0 CF AREA C
121 SF X 10.5 FT HIGH		= 1,271.0 CF AREA D
65 SF X 10.5 FT HIGH		= 682.5 CF AREA E
131 SF X 10.5 FT HIGH		= 1,375.5 CF AREA F
58 SF X 10 FT HIGH		= 580 CF AREA G
		38,025.0 CF
CONTINGENCY		5,937 CF

ALLOWABLE VOLUME FOR LOTS LESS THAN 7500SF
6 X 7324 (LOT SF) = 43,962CF

Exhibit C PROPOSED SETBACKS

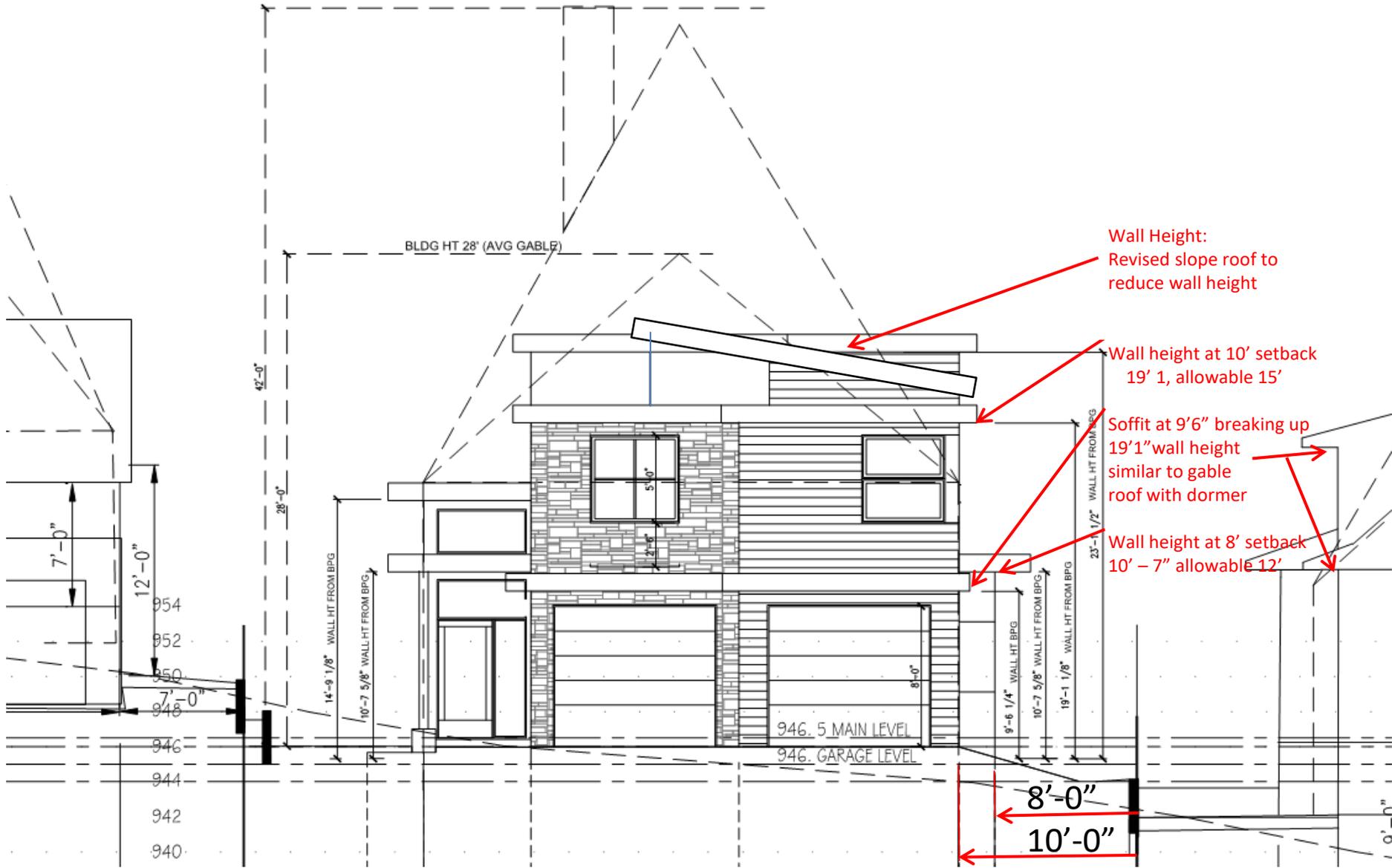
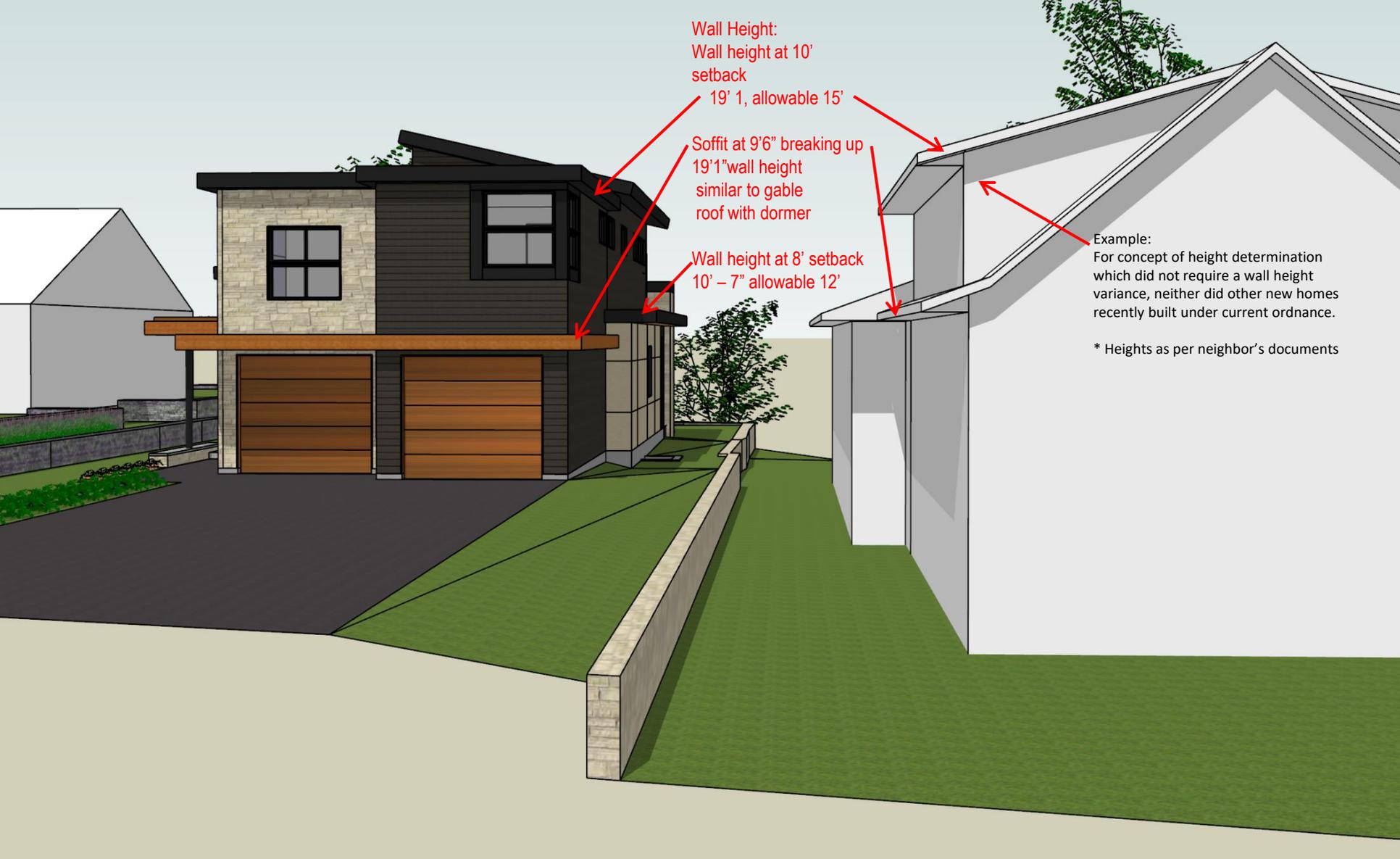


Exhibit D

PROPOSED WALL HEIGHTS



Wall Height:
Wall height at 10'
setback

19' 1", allowable 15'

Soffit at 9'6" breaking up
19'1" wall height
similar to gable
roof with dormer

Wall height at 8' setback
10' - 7" allowable 12'

Example:
For concept of height determination
which did not require a wall height
variance, neither did other new homes
recently built under current ordinance.

* Heights as per neighbor's documents

Exhibit D

PROPOSED WALL HEIGHTS

LEGAL DESCRIPTION:

That part of Lot 2, lying South of the North 50 feet thereof; also the northerly 20 feet of Lot 3, SOLBERG'S POINT, Hennepin County, Minnesota.

SCOPE OF WORK & LIMITATIONS:

- Showing the length and direction of boundary lines of the legal description listed above. The scope of our services does not include determining what you own, which is a legal matter. Please check the legal description with your records or consult with competent legal counsel, if necessary, to make sure that it is correct and that any matters of record, such as easements, that you wish to be included on the survey have been shown.
- Showing the location of observed existing improvements we deem necessary for the survey.
- Setting survey markers or verifying existing survey markers to establish the corners of the property.
- Showing and tabulating impervious surface coverage of the lot for your review and for the review of such governmental agencies that may have jurisdiction over these requirements to verify they are correctly shown before proceeding with construction.
- Showing elevations on the site at selected locations to give some indication of the topography of the site. We have also provided a benchmark for your use in determining elevations for construction on this site. The elevations shown relate only to the benchmark provided on this survey. Use that benchmark and check at least one other feature shown on the survey when determining other elevations for use on this site or before beginning construction.
- This survey has been completed without the benefit of a current title commitment. There may be existing easements or other encumbrances that would be revealed by a current title commitment. Therefore, this survey does not purport to show any easements or encumbrances other than the ones shown hereon.
- While we show a proposed location for this home or addition, we are not as familiar with your proposed plans as you, your architect, or the builder are. Review our proposed location of the improvements and proposed yard grades carefully to verify that they match your plans before construction begins. Also, we are not as familiar with local codes and minimum requirements as the local building and zoning officials in this community are. Be sure to show this survey to said officials, or any other officials that may have jurisdiction over the proposed improvements and obtain their approvals before beginning construction or planning improvements to the property.
- Note that all building dimensions and building tie dimensions to the property lines, are taken from the siding and or stucco of the building.
- While we show the building setback lines per the City of Greenwood web site, we suggest you show this survey to the appropriate city officials to be sure that the setback lines are shown correctly. Do this BEFORE you use this survey to design anything for this site.

STANDARD SYMBOLS & CONVENTIONS:

● Denotes iron survey marker, set, unless otherwise noted.

GRADING & EROSION CONTROL NOTES:

BEFORE DEMOLITION AND GRADING BEGIN

- Install silt fence/bio roll around the perimeter of the construction area.
- Sediment control measures must remain in place until final stabilization has been established and then shall be removed. Sediment controls may be removed to accommodate short term construction activity but must be replaced before the next rain.
- A temporary rock construction entrance shall be established at each access point to the site and a 6 inch layer of 1 to 2 inch rock extending at least 50 feet from the street into the site and shall be underlain with permeable geotextile fabric. The entrance shall be maintained during construction by top dressing or washing to prevent tracking or flow of sediments onto public streets, walks or alleys. Potential entrances that are not so protected shall be closed by fencing to prevent unprotected exit from the site.
- Contractor shall install inlet protection on all existing storm sewer inlets in accordance with the city standard details. Inlet protection shall also be provided on all proposed storm sewer inlets immediately following construction of the inlet. Inlet protection must be installed in a manner that will not impound water for extended periods of time or in a manner that presents a hazard to vehicular or pedestrian traffic.

DURING CONSTRUCTION:

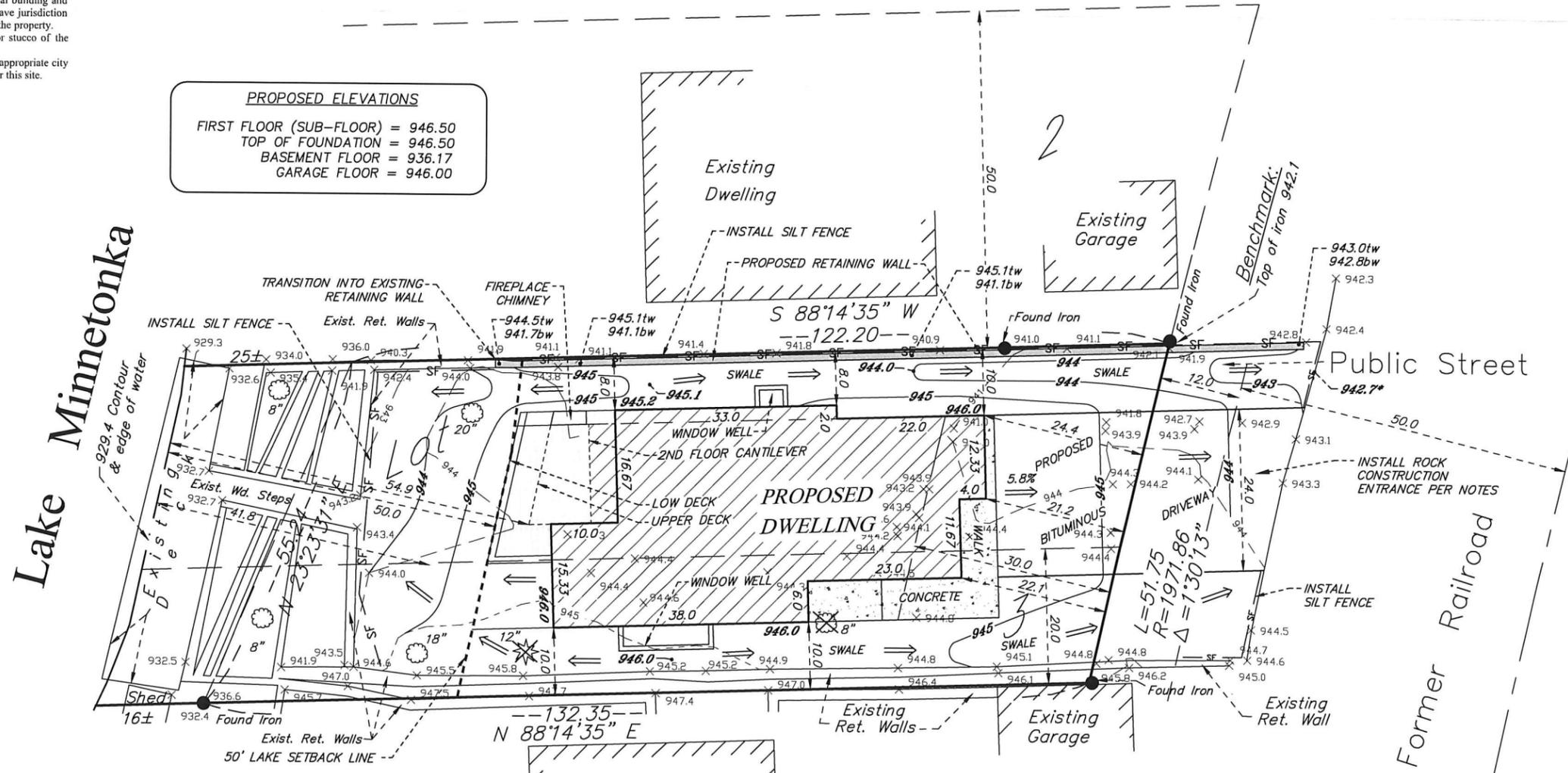
- When dirt stockpiles have been created, a double row of silt fence shall be placed to prevent escape of sediment laden runoff and if the piles or other disturbed areas are to remain in place for more than 14 days, they shall be seeded with Minnesota Department of Transportation Seed Mixture 22-111 at 100 lb/acre followed by covering with spray mulch.
- A dumpster shall be placed on the site for prompt disposal of construction debris. These dumpsters shall be serviced regularly to prevent overflowing and blowing onto adjacent properties. Disposal of solid wastes from the site shall in accordance with Minnesota Pollution Control Agency requirements.
- A separate container shall be placed for disposal of hazardous waste. Hazardous wastes shall be disposed of in accordance with MPCA requirements.
- Concrete truck washout shall be in the plastic lined ditch and dispose of washings as solid waste.
- Sediment control devices shall be regularly inspected and after major rainfall events and shall be cleaned and repaired as necessary to provide downstream protection.
- Streets and other public ways shall be inspected daily and if litter or soils has been deposited it shall promptly be removed.
- If necessary, vehicles, that have mud on their wheels, shall be cleaned before exiting the site in the rock entrance areas.

- Moisture shall be applied to disturbed areas to control dust as needed.
- Portable toilet facilities shall be placed on site for use by workers and shall be properly maintained.
- If it becomes necessary to pump the excavation during construction, pump discharge shall be into the stockpile area so that the double silt fence around these areas can filter the water before it leaves the site.
- Temporary erosion control shall be installed no later than 14 days after the site is first disturbed and shall consist of broadcast seeding with Minnesota Department of Transportation Seed Mixture 22-111 at 100 lb/acre followed by covering with spray mulch.
- Erosion control measures shown on the erosion control plan are the absolute minimum. The contractor shall install temporary earth dikes, sediment traps or basins and additional silt fencing as deemed necessary to control erosion.

SITE WORK COMPLETION:

- When final grading has been completed but before placement of seed or sod an "as built" survey shall be done per City of Greenwood requirements to insure that grading was properly done.
- When any remedial grading has been completed, sod or seeding shall be completed including any erosion control blankets for steep areas.

PROPOSED ELEVATIONS
 FIRST FLOOR (SUB-FLOOR) = 946.50
 TOP OF FOUNDATION = 946.50
 BASEMENT FLOOR = 936.17
 GARAGE FLOOR = 946.00

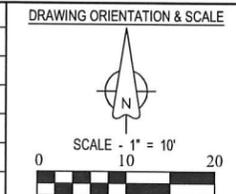


LEGEND

EXISTING CONTOUR	--- 944 ---
EXISTING SPOT ELEVATION	x 944.5
PROPOSED CONTOUR	--- 944 ---
PROPOSED SPOT ELEVATION	x 944.5
DRAINAGE ARROW - FLOW	⇒
SILT FENCE/BIO ROLL	— SF —
TREE REMOVAL	⊗

EXISTING HARDCOVER		PROPOSED HARDCOVER	
House	1,156 Sq. Ft.	House	1,719 Sq. Ft.
Existing Deck	496 Sq. Ft.	Deck	282 Sq. Ft.
Bituminous Driveway	328 Sq. Ft.	Bituminous Driveway	493 Sq. Ft.
Neighbor's Shed	14 Sq. Ft.	Neighbor's Shed	14 Sq. Ft.
Concrete Surfaces	705 Sq. Ft.	Concrete Surfaces	253 Sq. Ft.
TOTAL EXISTING HARDCOVER	2,699 Sq. Ft.	TOTAL PROPOSED HARDCOVER	2,761 Sq. Ft.
AREA OF LOT TO OHW	7,327 Sq. Ft.	AREA OF LOT TO OHW	7,327 Sq. Ft.
PERCENTAGE OF HARDCOVER TO LOT	36.8%	PERCENTAGE OF HARDCOVER TO LOT	37.7%
(RETAINING WALLS EXCLUDED FROM TABULATION PER CITY)		(RETAINING WALLS EXCLUDED FROM TABULATION PER CITY)	

DATE	REVISION DESCRIPTION
5-14-20	BUILDING ELEVATIONS PER CLIENT
6-24-20	MOVED HOME, UPDATED GRADING & HC



CLIENT NAME / JOB ADDRESS

TAMMY MAGNEY
 5270 MEADVILLE STREET
 GREENWOOD, MN

Advance
 Surveying & Engineering, Co.

17917 Highway 7
 Minnetonka, Minnesota 55345
 Phone (952) 474-7964
 Web: www.advsur.com

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Joselyn S. Rinke
 Joselyn S. Rinke
 # 52716
 LICENSE NO.
 MARCH 11, 2020
 DATE

DATE SURVEYED: JUNE 29, 2018

SURVEYED BY
 ADVANCE SURVEYING, & ENG., CO.

DATE DRAFTED: MARCH 11, 2020

SHEET TITLE

PROPOSED SURVEY

DRAWING NUMBER

200232 JR

SHEET SIZE 22 X 34

SHEET NO.

S1

SHEET 1 OF 1

SIEVERS HOME
5270 MEADVILLE
GREENWOOD, MN 55331

MAGNEY
ARCHITECTURE
540 LAKE STREET, EXCELSIOR, MN 55331
612-701-7117 TMAGNEY@MCHSI.COM

PRE- CONSTRUCTION SET MAY 8, 2020

PROJECT DESCRIPTION	PROJECT DIRECTORY	SHEET INDEX
<p>CODE INFORMATION: SINGLE FAMILY CONSTRUCTION TYPE IRC -1 2015 MINNESOTA STATE RESIDENTIAL CODE 2014 NATIONAL ELECTRIC CODE 2015 MINNESOTASTATE MECHANICAL & FUEL GAS CODE 2015 STATE FIRE CODE 2015 MINNESOTA PLUMBING CODE</p> <p>GREENWOOD CITY ORDINANCE INFORMATION:</p> <p>ZONING R-1 SINGLE FAMILY RESIDENTIAL DISTRICT</p> <p>LOT SIZE: MINIMUM LOT AREA -6570 SF, MINIMUM LOT WIDTH - 45', MINIMUM LOT DEPTH - NONE PROPERTY LOT AREA - 7327 SF, WIDTH - 50', DEPTH - NORTH 120.2', SOUTH 132.' SITE</p> <p>HARDCOVER: LOTS LESS THAN 10,000sf, FORMULA IS 40 – (the total lot area in sq ft x .001). = % OF HARDCOVER ALLOWED 40 - (7327 X .001) = 32.67% ALLOWABLE HARDCOVER PROPOSED HARDCOVER 39.6 %</p> <p>SETBACKS : FRONT YARD 30', LAKE YARD 50', INTERIOR SIDE YARD SETBACK LOTS LESS THAN 75' WIDE IS 20% OF THE LOT WIDTH 50' X 20% = 10' SIDE SETBACK SIDE SETBACK FOR (EXTERIOR SIDE WALL CAN NOT EXCEED 70' IN LENGTH) PROPOSED SETBACKS - FRONT YARD 26', LAKE YARD 50', SIDE YARD 10' AND 8'</p> <p>ALLOWABLE HEIGHT : BUILDING HEIGHT CAN NOT EXCEED 28 FT, STRUCTURE HEIGHT CAN NOT EXCEED 42 FT WALL HEIGHT MUST NOT EXCEED 1.5 TIMES THE APPLICABLE SIDE YARD SETBACK WITHIN 20' OF THE SIDE PROPERTY LINE</p> <p>PROPOSED HEIGHT - NORTH - APPLICABLE SETBACK 8' , ALLOWABLE HEIGHT 12' FROM BLDG PERMETER GRADE PROPOSED HEIGHT 10'-7" AT 8' SETBACK APPLICABLE SETBACK 10', ALLOWABLE HEIGHT 15' FROM BUILDING PERIMETER GRADE PROPOSED HEIGHT 9'-7" SOFFIT, 19'-2" AT 10' SETBACK</p> <p>SOUTH - APPLICABLE SETBACK 10', ALLOWABLE HEIGHT 15' FROM BUILDING PERIMETER GRADE PROPOSED HEIGHT 14'- 10"</p> <p>REQUIRED HOUSE DIMENSIONS: MINIMUM WIDTH 25', PROPOSED 30', MINIMUM FOOTPRINT AREA 800SF, PROPOSED 1660 SF HOUSE + GARAGE ATTACHED OR DETACHED GARAGE , HARD SURFACE DRIVEWAY TO THE STREET, PROPOSED -ATTACHED GARAGE AND HARD SURFACE DRIVEWAY</p> <p>ALLOWABLE BUILDING VOLUME - FOR LOTS LESS THAN 7500SF THE ALLOWABLE VOLUME = 6 X LOT SF, 6 X 7327 = 43,962 CF PROPOSED BUILDING VOLUME TOTAL = 41,008CF</p>	<p>CLIENT: COLIN SIEVERS CONTACT: csievers@poquetauto.com (952) 393-7004</p> <p>ARCHITECT: MAGNEY ARCHITECTURE CONTACT: TAMMY MAGNEY, AIA tmagney@mchsi.com (612) 701-7117</p> <p>DESIGNER: Darin Duch CONTACT: duch.darin@gmail.com (612) 385-5107</p> <p>SURVEYOR: ADVANCED SURVEY SURVEY:</p> <p style="text-align: center;">STRUCTURAL ENGINEER:</p> <p style="text-align: center;">LANDSCAPE ARCHITECT:</p>	<p style="text-align: center;">SURVEY BY ADVANCED SURVEY</p> <ol style="list-style-type: none"> 1 TITLE SHEET 2 SPECIFICATIONS 3 SITE PLAN - VOLUME CALCULATIONS 4 LOWER LEVEL FLOOR PLAN 5 MAIN FLOOR PLAN 6 SECOND FLOOR PLAN 7 ROOF PLAN 8 SOUTH EXTERIOR ELEVATION 9 EAST EXTERIOR ELEVATIONS 10 NORTH EXTERIOR ELEVATION 11 WEST EXTERIOR ELEVATION 12 EAST WEST BUILDING SECTION 13 EAST WEST BUILDING SECTION

SIEVERS HOME

PRE-CONSTRUCTION SET

ADDRESS:
5270 MEADVILLE STREET
GREENWOOD MN 55331

Sheet Title:
TITLE SHEET

Date: Updated October 14, 2019
Updated February 20, 2020
Updated May 8, 2020
City Council Update June 25, 2020

DRAWN BY: TSM

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT HAS BEEN PREPARED BY ME AND OR UNDER MY SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA

TAMMY MAGNEY, AIA LICENSE NUMBER: 16917
EXPIRATION JUNE 30, 2020

Sheet Number:

1

GENERAL NOTES:

1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH APPLICABLE CODES - IRC 2015, MINNESOTA ENERGY CODE
2. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH LOCAL ZONING ORDINANCES
3. CONTRACTOR WILL VERIFY LOCATIONS OF EXISTING UTILITIES IF NECESSARY
4. EACH SUB-CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR MAKING SURE THEIR PART OF THE WORK MEETS CODE, IS STRUCTURALLY SOUND, WATERTIGHT AND OF QUALITY CONSTRUCTION.

FRAMING NOTES:

5. ALL WALLS SHALL BE 16" OC WITH A DOUBLE TOP PLATE UNLESS OTHERWISE NOTED
6. ALL STUDS SHALL BE S.P.F. STUD GRADE OR BETTER UNLESS OTHERWISE NOTED
7. ALL HEADERS TO BE PER PLAN
8. ALL EXTERIOR HEADERS SHALL HAVE (1) 2X6 STUD BEARING STUD AND (1) FULL HEIGHT KING STUD ON EACH SIDE OF U.N.O
9. ROOF TRUSSES AND JOIST SHALL BE DESIGNED BY TRUSS MANUFACTURE OR JOIST MANUFACTURER
10. PRESSURE TREATED WOOD S.Y.P. OR BETTER SHALL BE USED AT ALL AREAS STUDS MEET CONCRETE OR CONCRETE BLOCK
11. FLOOR DECK SHALL BE 3/4" PLYWOOD

CONCRETE NOTES:

12. ALL CONCRETE FOOTINGS AND FOUNDATION SYSTEMS ARE TO BE DESIGNED FOR 2000 PSI SOIL
13. FOUNDATION WALLS SHALL BE FULL HEIGHT AT UNBALANCED FILL GREATER THAN 3/4"
14. 1/2" ANCHOR BOLTS EMBEDDED 7" MINIMUM AT 6" OC MAX. 12" MINIMUM FROM EACH END. MINIMUM OF 2 BOLTS EACH SILL PLATE
15. PAD FOOTING REINFORCEMENT IS TO BE LOCATED 3" FROM BOTTOM OF FOOTING TYP (WHEN REQUIRE)
16. REFER TO STRUCTURAL FOR ADDITIONAL INFORMATION REGARDING REBAR
17. MINIMUM 5000PSI CONCRETE AT ALL FOOTINGS

HVAC NOTES:

17. HVAC - TBD - PROVIDE AC THROUGHOUT HOUSE AND HEATED FLOORS IN BATHROOMS

ELECTRICAL:

18. ELECTRICAL - LED LIGHTING INTERIOR AND EXTERIOR, OCCUPANCY SENSORS, LUTRON LIGHTING CONTROL OR EQUAL,
19. LOW VOLTAGE - INTEGRATED SOUND/ VIDEO SYSTEM THROUGHOUT HOUSE / VOICE OF IP , PROVIDE EXTERIOR SPEAKER IN PORCH AND UPPER DECK AREA
20. PROVIDE FOR ELECTRIC CAR PLUG IN IN BOTH GARAGE STALLS

RADON:

21. PROVIDE PASSIVE RADON MITIGATION SYSTEM FROM BASEMENT VENTED THROUGH ROOF. SEAL JOINTS, CRACKS AND OTHER OPENINGS WITH POLYURETHANE CAULK OR ELASTOMERIC SEALANT ACCORDING TO MANUFACTURES SPEC.
22. BASEMENT CONCRETE SLAB SHALL HAVE 6 MILL POLY BARRIER W 12" LAPPED SEAMS BELOW ENTIRE SLAB ON TOP OF GAS PERMEABLE LAYER OF 4" CLEAN COURSE AGGREGATE

PLUMBING

23. PROVIDE FROST RESISTANT OUTDOOR HOSE BIBS ON EACH ELEVATION
24. PROVIDE ALLOWANCES FOR DUAL FLUSH TALL TOILETS, BATHROOM ACCESSORIES, SHOWER AND TUB FAUCETS AND SINK FAUCETS.
25. PROVIDE GAS HOOK UPS FOR KITCHEN STOVE AND MAIN AND LOWER LEVEL FIREPLACE

EXTERIOR MATERIALS:

SITE

1. RETAINING WALL AT DRIVEWAY - STONE VENEER OVER CMU W/ 4" LIMESTONE CAP
2. SIDEWALK TO BE BROOMED CONCRETE
3. DRIVEWAY TO ASPHALT WITH 3' CONCRETE APRON AT GARAGE
4. DECK SHALL BE IRONWOOD DECKING WITH TREATED CEDAR TONE FRAMING
5. DECK RAIL SHALL BE CABLE RAIL WITH IRONWOOD TOP AND PANTED TUBE STEEL SUPPORTS
6. ALL OPEN AREAS TO BE TURF
7. RETAINING WALLS TO LAKE ARE BY OTHERS

EXTERIOR WALLS

8. FOUNDATION WALLS SHALL BE CONCRETE BLOCK UNLESS POURED IN PLACE CONCRETE OR AN INSULATED CONCRETE SYSTEM IS DEEMED MORE COST EFFECTIVE BY CONTRACTOR, 2" RIGID EXTERIOR INSULATION WITH PRE-FINISHED METAL FLASHING OVER EXPOSED INSULATION AT GRADE. PROVIDE INTERIOR WARM WALLS IN FINISHED AREAS.
9. REFER TO SECTIONS FOR FRAMING NOTES - 2X6 FRAMING, . SHEATHING SHALL BE MIN 7/8" PLYWOOD OR OSB AS DETERMINED BY CONTRACTOR. BREATHABLE HOUSE WRAP AND DRAINAGE PLANE.
10. REFER TO BUILDING ELEVATIONS FOR EXTERIOR MATERIALS , PRE-FINISHED WALL PANELS WITH REVEAL SURROUND TRIM WITH CONCEALED FASTNERS BY HARDIE ASPYRE OR TAMLYN. 6" LAP PRE-FINISHED SIDING TO BE LP OR HARDIE, STONE TO BE VENEER SIMILAR TO CHILTON. 8" SHIPLAP CEDAR SHALL BE CLEAR AND VERTICAL GRAIN WITH AN OILED FINISH
11. TRIM SHALL BE PRE-FINISHED LP OR HARDIE TO MATCH SIDING OR CLEAR CEDAR AS CALLED OUT ON ELEVATIONS
12. ACCENT OVERHANGS SHALL HAVE A 1X12 CEDAR TRIM BOARD WITH AND OILED FINISH
13. EXTERIOR SOFFITS SHALL BE LP / HARDIE SOFFIT MATERIAL EXCEPT AT MAIN LEVEL PORCH AND ENTRY CANOPY, PROVIDE 1 X 6 T&G CEDAR WITH AN OILED FINISH
14. EXTERIOR METAL FLASHING, GUTTERS, OTHER SHALL BE PRE-FINISHED AND FLASHED PER CODE

ROOF

15. ROOF STRUCTURE TO BE TRUSSES/JOISTS AS DETERMINED MOST ECONOMICAL, ROOF SHEATHING TO BE 3/4" PLYWOOD WITH BUILDING PAPER AND ICE AND WATER SHIELD FROM ROOF EDGE TO 6' BEYOND TO WARM SIDE OF WALL .SLOPE ROOF AT 1/4" PER FOOT MINIMUM WITH RIGID INSULATION TO SCUPPERS
16. PROVIDE REINFORCED 60 MIL EPDM FULLY ADHERED ROOFING.

INSULATION

17. ALL EXTERIOR WALL TO MEET OR EXCEED MINNESOTA ENERGY CODE. WALLS SHALL BE FILLED WITH BAT INSULATION WITH 1" CONTINUOUS RIGID ON EXTERIOR TO MEET OR EXCEED CODE
18. ROOF INSULATION SHALL MEET OR EXCEED MINNESOTA ENERGY CODE FOR A HOT ROOF.
19. ALL RIM JOISTS, FLOOR SPACES OVER UNCONDITIONED SPACE OR CANTILEVERED ARE TO BE INSULATED TO MEET OF EXCEED MINNESOTA ENERGY CODE

DOORS AND WINDOWS

20. GARAGE DOOR SHALL BE STANDARD INSULATED FLUSH DOOR WITH APPLIED 1X6 SHIPLAP CEDAR WITH AND OILED FINISH, AUTOMATIC GARAGE DOOR OPENERS
21. EXTERIOR INSULATED LOW E GLASS DOORS SHALL BE WOOD CLAD MARVIN AND NANA WALL, OR EQUAL SERVICE DOORS SHALL BE INSULATED METAL (GARAGE)
22. DOOR HARDWARE SHALL BE EMTEK OR EQUAL
23. COILING EXTERIOR SCREEN BY PHANTOM OR EQUAL
24. WINDOWS SHALL BE 1" INSULATED LOW E WOOD CLAD WITH FACTORY PAINT FINISH, CONTEMPORARY DETAILING BY MARVIN OR EQUAL. WINDOW DENOTED WITH "F" ARE FIXED, "A" ARE AWNING, "C" ARE CASEMENT
25. ANY WINDOW WITHIN 24" OF A DOOR SWING, BELOW 18" ABOVE FINISHED FLOOR, ABOVE A TUB, MUST BE TEMPERED
26. ALL BEDROOMS MUST HAVE AN EGRESS WINDOW OR DOOR
27. IF WINDOW SILLS ARE BELOW 3' FROM THE FINISHED FLOOR AND 72" ABOVE GRADE MUST HAVE A FALL PREVENTION OR OPENING LIMITER DEVICE PER CODE.

INTERIOR MATERIALS:

FLOOR

1. FLOOR DECKING SHALL BE 3/4" PLYWOOD
2. MAIN FLOOR - 12" X 12" SLATE
3. LOWER LEVEL - CARPET IN FINISHED LIVING AREAS, SLATE OR PORCELAIN TILE IN BATHROOMS AND SHOWER
4. UPPER FLOOR - CARPET THROUGHOUT, SLATE OR PORCELAIN TILE IN BATHROOM AND SINK AREAS, LAUNDRY, CONCRETE IN STORAGE AND MECHANICAL AREA

WALLS

5. INTERIOR WALLS SHALL BE 2X4 CONSTRUCTION 16" OC UNLESS OTHERWISE NOTED
6. WET WALLS WITH TOILETS AND SINKS MOUNTED ON THEM SHALL BE 2X6 INSULATED
7. INTERIOR FINISHES ARE NOTED ON ELEVATIONS AND SECTIONS
8. ALL SURFACE SHALL BE PANTED GBD UNLESS OTHERWISE NOTED.
9. SHOWER WALLS SHALL BE LARGE FORMAT TILE
10. INTERIOR FIREPLACE WALL SHALL HAVE VENEER STONE TO MATCH EXTERIOR SEE INTERIOR ELEVATION
11. ACCENT WALL MATERIAL AROUND FIREPLACE SHALL BE 24" X 48" PANELS OF CONCRETE GLUED TO GBD WALL WITH BUTT JOINTS

TRIM

14. 1X6 BASE TO BE PANTED
15. 1X4 CASEMENT TRIM AT WINDOWS AND DOORS, PANTED OR STAINED (VERIFY)

INTERIOR DOORS

16. FLUSH SOLID CORE BIRCH PANTED OR STAINED TO BE DETERMINED
17. CABINETRY SHALL BE WOOD, WOOD FINISH, COUNTER TOPS SHALL BE GRANITE OR QUARTZ

CEILINGS

18. CEILINGS TO BE GBD, TAPED AND SANDED SMOOTH, PANTED

STAIRS

19. STAIRS STRINGERS TO BE WELDED STEEL CHANNELS WITH WELDED ANGLES FOR WOOD SLAB STAIR TREADS.. PROVIDE 3/4" ROD HORZ BETWEEN TOP OF TREAD BOTTOM OF NEXT TREAD TO REDUCE OPENING TO LESS THAN 4".
20. RAILING SHALL BE 2" WELDED TUBE STEEL WITH WOOD HANDRAIL
21. PROVIDE SLAT WALL OF 1X2 PIECES OF WOOD FLOOR TO CEILING ON NORTH SIDE OF STAIR

CABINETS

22. PROVIDE SOFT CLOSE, FLUSH DOOR ,PANTED CABINET UPPER AND LOWER CABINETS IN KITCHEN AND BATHROOMS, HIGH QUALITY BOX CABINETS ACCEPTABLE
23. PROVIDE QUARTZ TOPS
24. ALL SINKS SHALL BE UNDERMOUNT

APPLIANCES

25. APPLIANCES BY OWNER

FIXTURES

25. ALL ROOMS TO HAVE RECESSED DIMABLE LED CANS
26. EXTERIOR LIGHTING TO BE RECESSED CANS IN ENTRY CANOPY, GARAGE SOFFIT, PORCH CEILING, UPPER DECK SOFFIT
27. ACCENT LIGHT FIXTURES TO BE PROVIDED BY OWNER, INSTALLATION BY CONTRACTOR IN DINING AREA, KITCHEN ISLAND, FRONT ENTRY, AND ABOVE BATHROOM VANITIES

FIREPLACE

28. PROVIDE GAS FIREPLACE IN LIVING ROOM AND LOWER LEVEL FAMILY ROOM, OUTDOOR PORCH AND UPPER DECK

MAGNEY ARCHITECTURE

540 LAKE STREET, EXCELSIOR, MN 55331
612-701-7117 TMAGNEY@MCHSI.COM

SIEVERS HOME

PRE-CONSTRUCTION SET

ADDRESS:

5270 MEADVILLE STREET
GREENWOOD MN 55331

Sheet Title:

SPECIFICATION

Date: Updated October 14, 2019
Updated February 20, 2020
Updated May 8, 2020
City Council Update June 25, 2020

DRAWN BY: TSM

I HERBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT HAS BEEN PREPARED BY ME AND OR UNDER MY SUPERVISION AN THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA

TAMMY MAGNEY, AIA LICENSE NUMBER: 16917
EXPIRATION :JUNE 30, 2020

Sheet Number:

2

SIEVERS
HOME

PRE-CONSTRUCTION SET

ADDRESS:
5270 MEADVILLE STREET
GREENWOOD MN 55331

Sheet Title:
SITE PLAN

Date: Updated October 14, 2019
Updated February 20, 2020
Updated May 8, 2020
City Council Update June 25, 2020

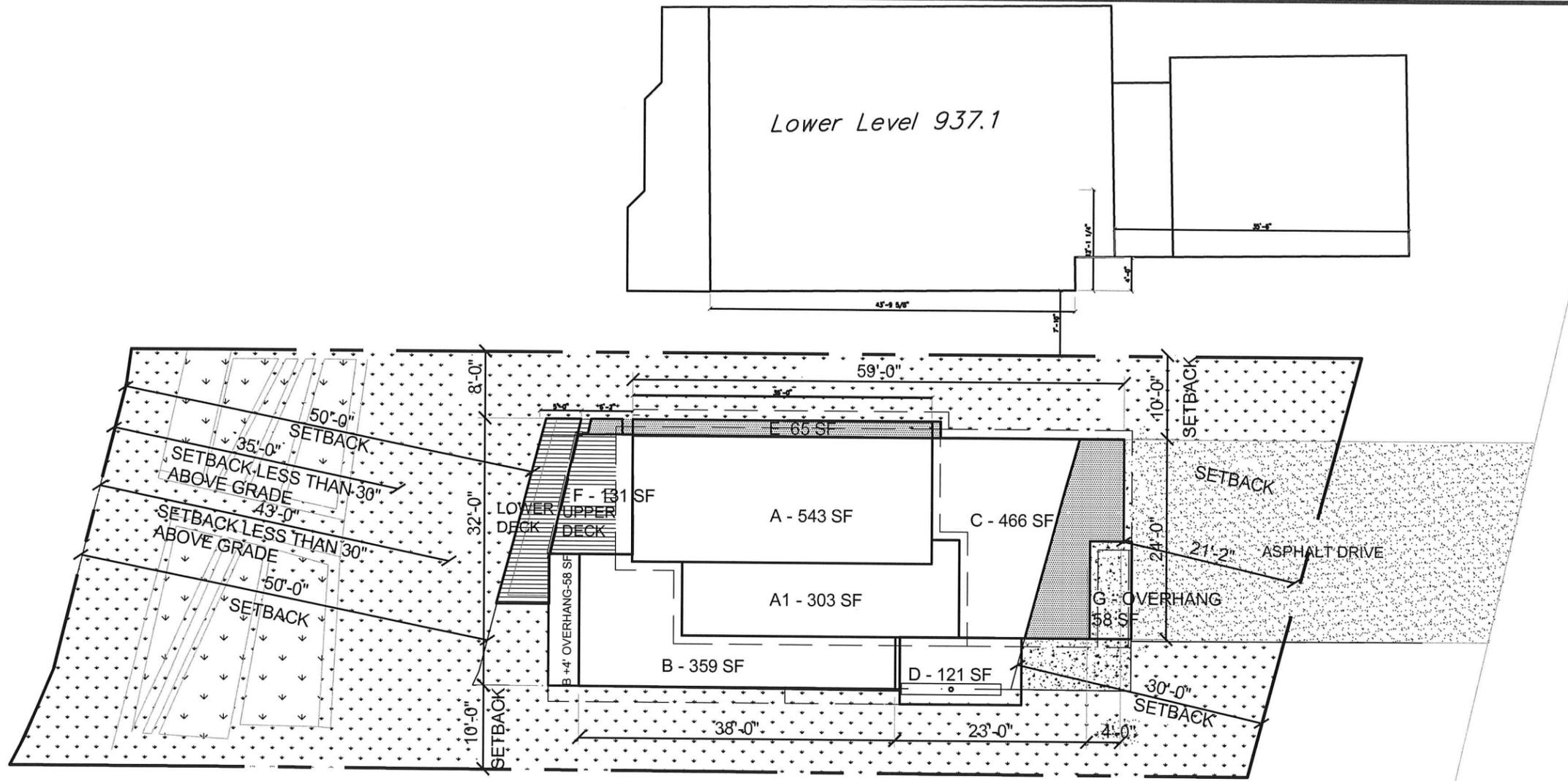
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TAMMY MAGNEY, AIA LICENSE NUMBER: 16917
EXPIRATION: JUNE 30, 2020

Sheet Number:

3



SITE PLAN 1/8"=1'-0"

LEGEND	
	PROPERTY LINE
	SETBACK LINE
	ROOF EDGE
	FOUNDATION / WALL
	DECK
	CONCRETE SIDEWALK
	ASPHALT DRIVEWAY
	TURF
	PLANTING BED PERMEABLE
	AREA OVER SETBACK

HARD COVER	
1719 SF HOUSE	
282 SF DECK	
493 SF BITUMINOUS DRIVEWAY	
14 SF NEIGHBORS SHED	
253 SF CONCRETE SURFACES	
2,761 SF TOTAL	
NEW HARD COVER = 37.7%	
ALLOWABLE HARDCOVER	
7327 SF EXG LOT x .001= 7.327, 40 - 7.327= 32.67%	
2394 ALLOWABLE SF HARDCOVER	

FINISHED SQUARE FOOTAGE	
1660 SF LOWER LEVEL	
1121 SF MAIN FLOOR	
1317 SF SECOND FLOOR	
4,098 SF	

UNFINISHED SQUARE FOOTAGE	
540 SF GARAGE	

OUTDOOR SPACE SQUARE FOOTAGE	
188 SF PORCH	
163 SF MAIN FLOOR DECK	
134 SF SECOND FLOOR DECK	
108 ENTRY CANOPY	

VOLUME		
AREA	T.O.F TO B.P.G.	CUBIC FEET
1724 SF X 1.2 FT HIGH		= 2,068 CF FOUNDATION WALL

AREA	HT TO T.O.F	CUBIC FEET
543 SF X 22.33 FT HIGH		=12,125 CF AREA A
303 SF X 14.66 FT HIGH		= 4,442 CF AREA A1
359 SF X 14.66 FT HIGH		= 5,791.0 CF AREA B
58 SF X 14.66 FT HIGH		= 850 CF AREA B OVERHANG
466 SF X 19 FT HIGH		= 8,840.0 CF AREA C
121 SF X 10.5 FT HIGH		= 1,271.0 CF AREA D
65 SF X 10.5 FT HIGH		= 682.5 CF AREA E
131 SF X 10.5 FT HIGH		= 1,375.5 CF AREA F
58 SF X 10 FT HIGH		= 580 CF AREA G
		38,025.0 CF
CONTINGENCY		5,937 CF

ALLOWABLE VOLUME FOR LOTS LESS THAN 7500SF
6 X 7324 (LOT SF) = 43,962CF

SIEVERS
HOME

PRE-CONSTRUCTION SET

ADDRESS:
5270 MEADVILLE STREET
GREENWOOD MN 55331

Sheet Title:
BASEMENT
FLOOR PLAN

Date: Updated October 14, 2019
Updated February 20, 2020
Updated May 8, 2020
City Council Update June 25, 2020

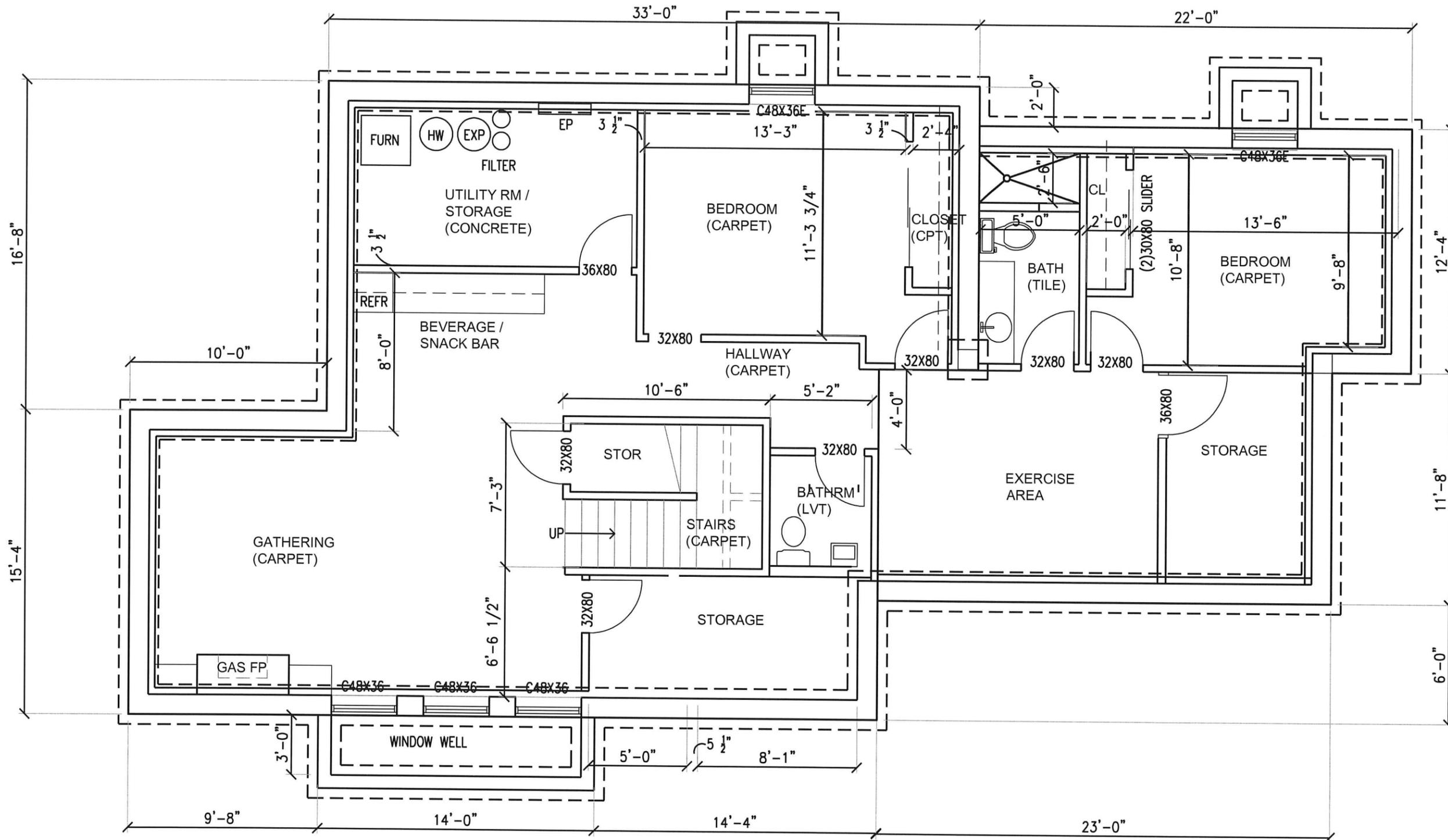
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TAMMY MAGNEY, AIA LICENSE NUMBER: 16917
EXPIRATION: JUNE 30, 2020

Sheet Number:

4



LOWER LEVEL PLAN $\frac{3}{16}''=1'-0''$

SQUARE FOOTAGE
1121 SF LOWER FLOOR
540 SF UNEXCAVATED
70 SF WINDOW WELL

SIEVERS
HOME

PRE-CONSTRUCTION SET

ADDRESS:
5270 MEADVILLE STREET
GREENWOOD MN 55331

Sheet Title:
MAIN LEVEL
FLOOR PLAN

Date: Updated October 14, 2019
Updated February 20, 2020
Updated May 8, 2020
City Council Update June 25, 2020

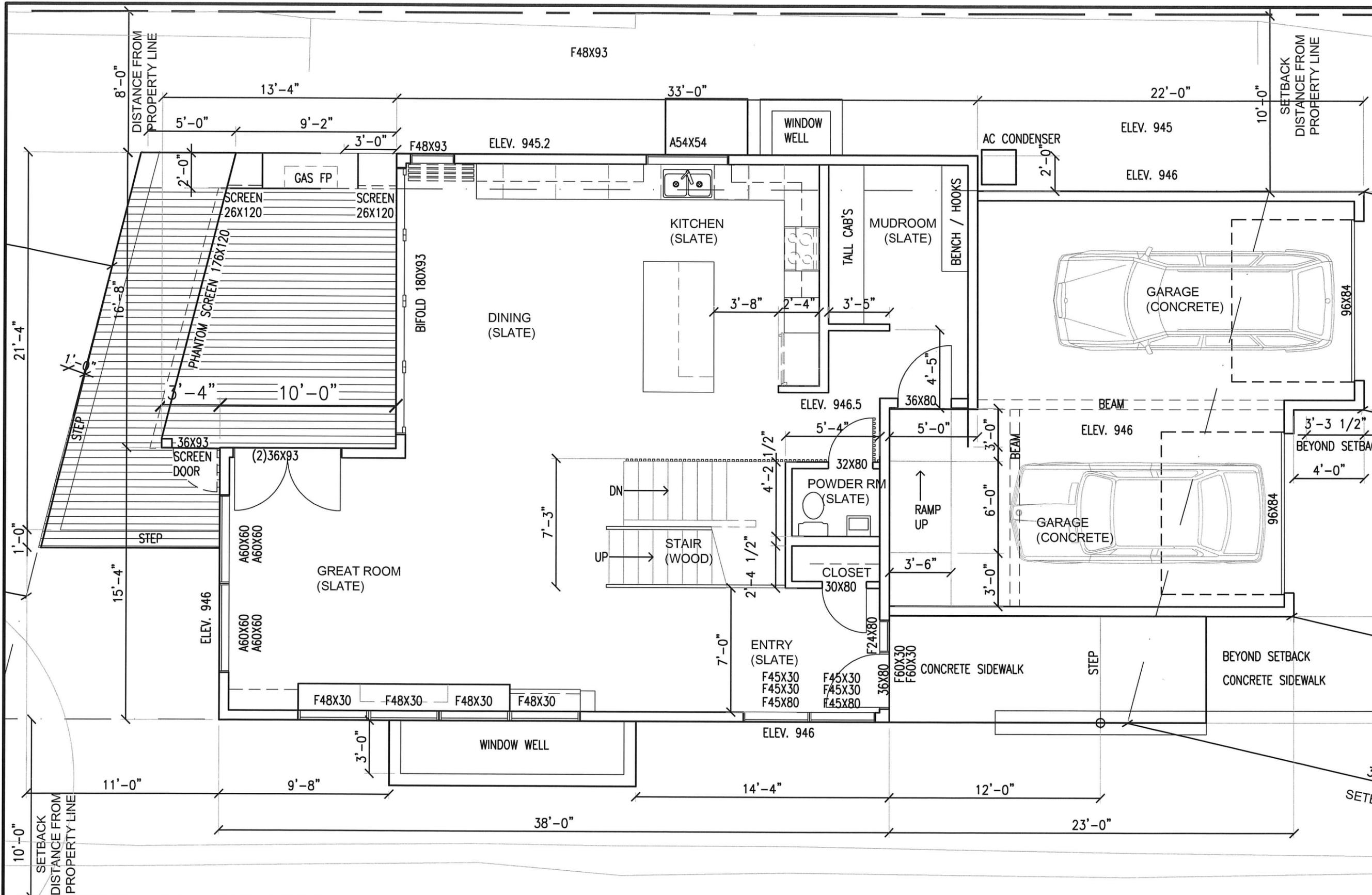
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TAMMY MAGNEY, AIA LICENSE NUMBER: 16917
EXPIRATION: JUNE 30, 2020

Sheet Number:

5



MAIN LEVEL PLAN $\frac{3}{16}'' = 1'-0''$

SQUARE FOOTAGE

1121 SF MAIN FLOOR	188 SF PORCH
540 SF GARAGE	163 SF MAIN FLOOR DECK
	108 SF ENTRY CANOPY

SIEVERS HOME

PRE-CONSTRUCTION SET

ADDRESS:
5270 MEADVILLE STREET
GREENWOOD MN 55331

Sheet Title:
UPPER LEVEL FLOOR PLAN

Date: Updated October 14, 2019
Updated February 20, 2020
Updated May 8, 2020
City Council Update June 25, 2020

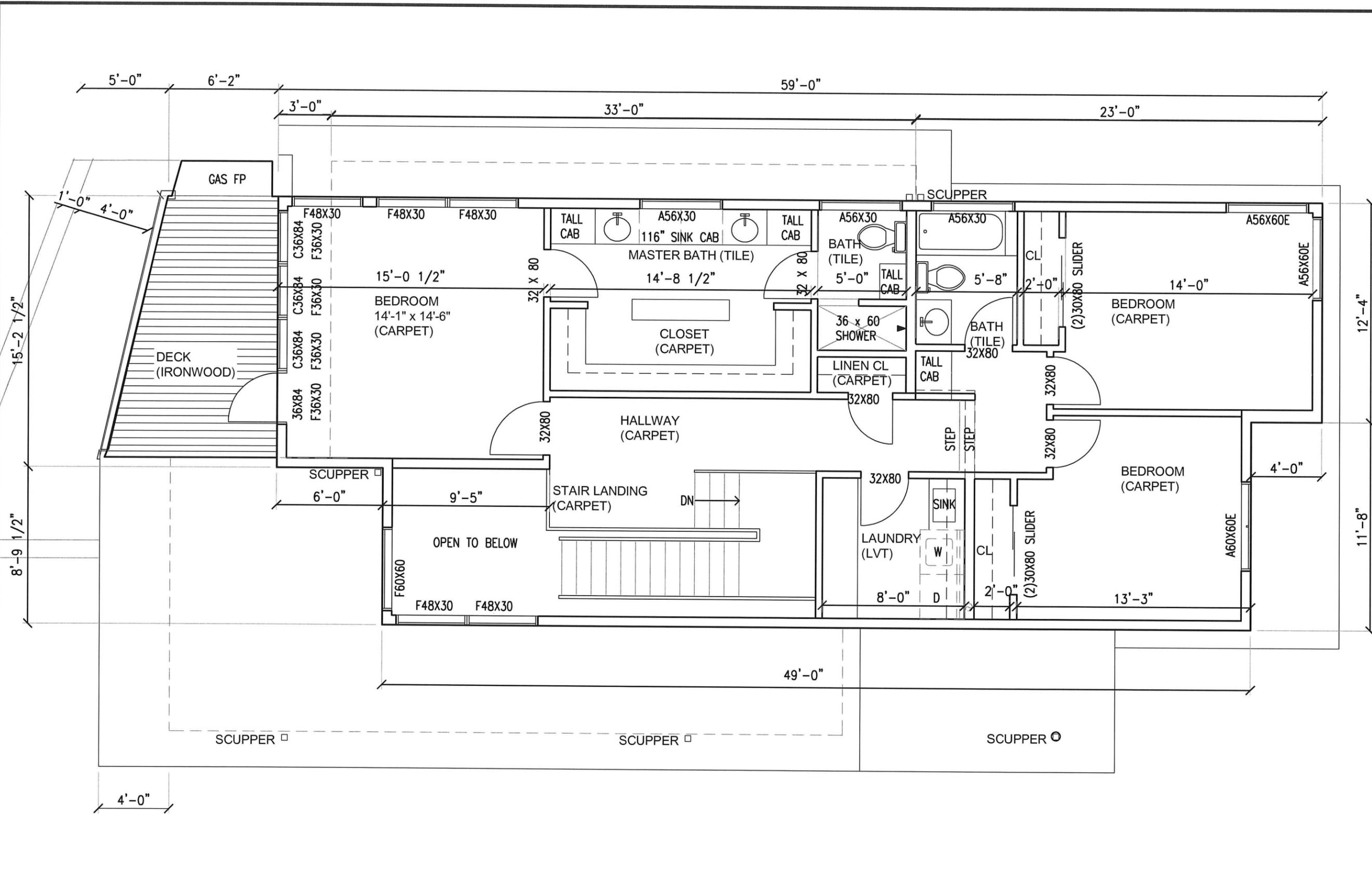
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TAMMY MAGNEY, AIA LICENSE NUMBER: 16917
EXPIRATION: JUNE 30, 2020

Sheet Number:

6



MAIN LEVEL PLAN $\frac{3}{16}''=1'-0''$

SQUARE FOOTAGE
1317 SF SECOND FLOOR
131 SF DECK

SIEVERS HOME

PRE-CONSTRUCTION SET

ADDRESS:
5270 MEADVILLE STREET
GREENWOOD MN 55331

Sheet Title:
ROOF PLAN

Date: Updated October 14, 2019
Updated February 20, 2020
Updated May 8, 2020
City Council Update June 25, 2020

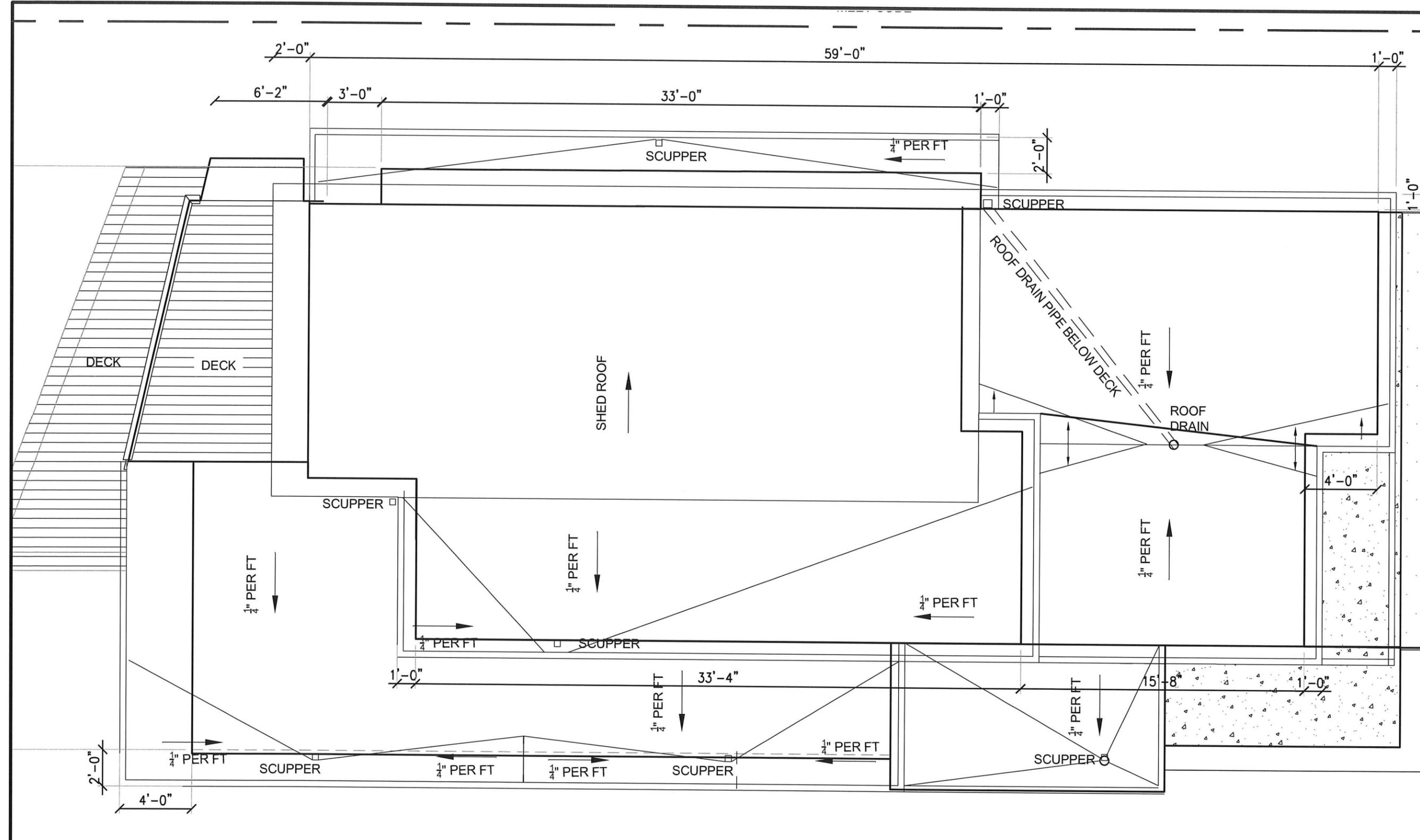
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TAMMY MAGNEY, AIA LICENSE NUMBER: 16917
EXPIRATION: JUNE 30, 2020

Sheet Number:

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ROOF PLAN $\frac{3}{16}'' = 1'-0''$

SIEVERS
HOME

PRE-CONSTRUCTION SET

ADDRESS:
5270 MEADVILLE STREET
GREENWOOD MN 55331

Sheet Title:
SOUTH EXTERIOR
ELEVATION

Date: Updated October 14, 2019
Updated February 20, 2020
Updated May 8, 2020
City Council Update June 25, 2020

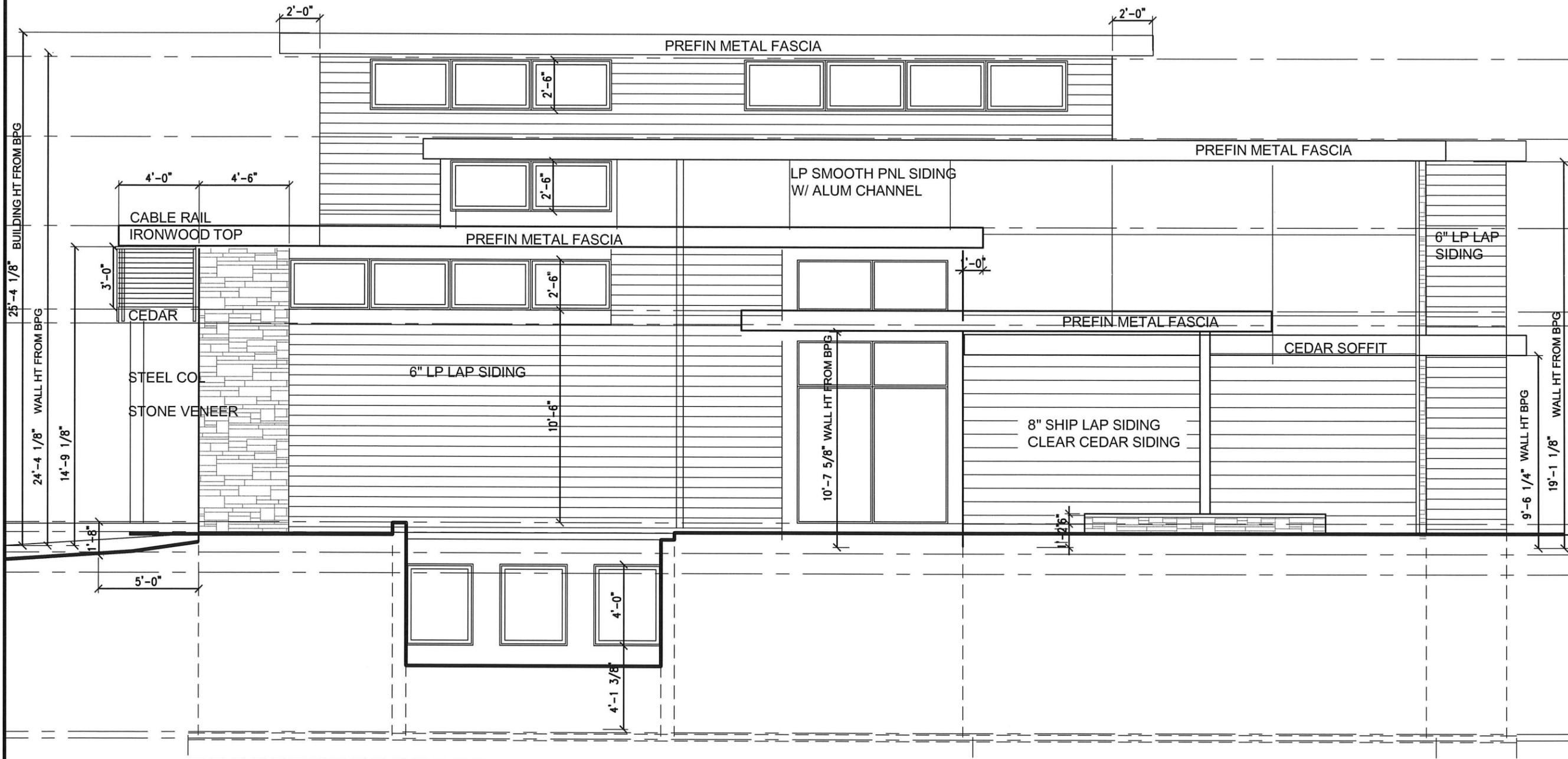
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TAMMY MAGNEY, AIA LICENSE NUMBER: 16917
EXPIRATION :JUNE 30, 2020

Sheet Number:

8



SOUTH ELEVATION $\frac{3}{16}'' = 1'-0''$

SIEVERS HOME

PRE-CONSTRUCTION SET

ADDRESS:
5270 MEADVILLE STREET
GREENWOOD MN 55331

Sheet Title:
EAST EXTERIOR
ELEVATION

Date: Updated October 14, 2019
Updated February 20, 2020
Updated May 8, 2020
City Council Update June 25, 2020

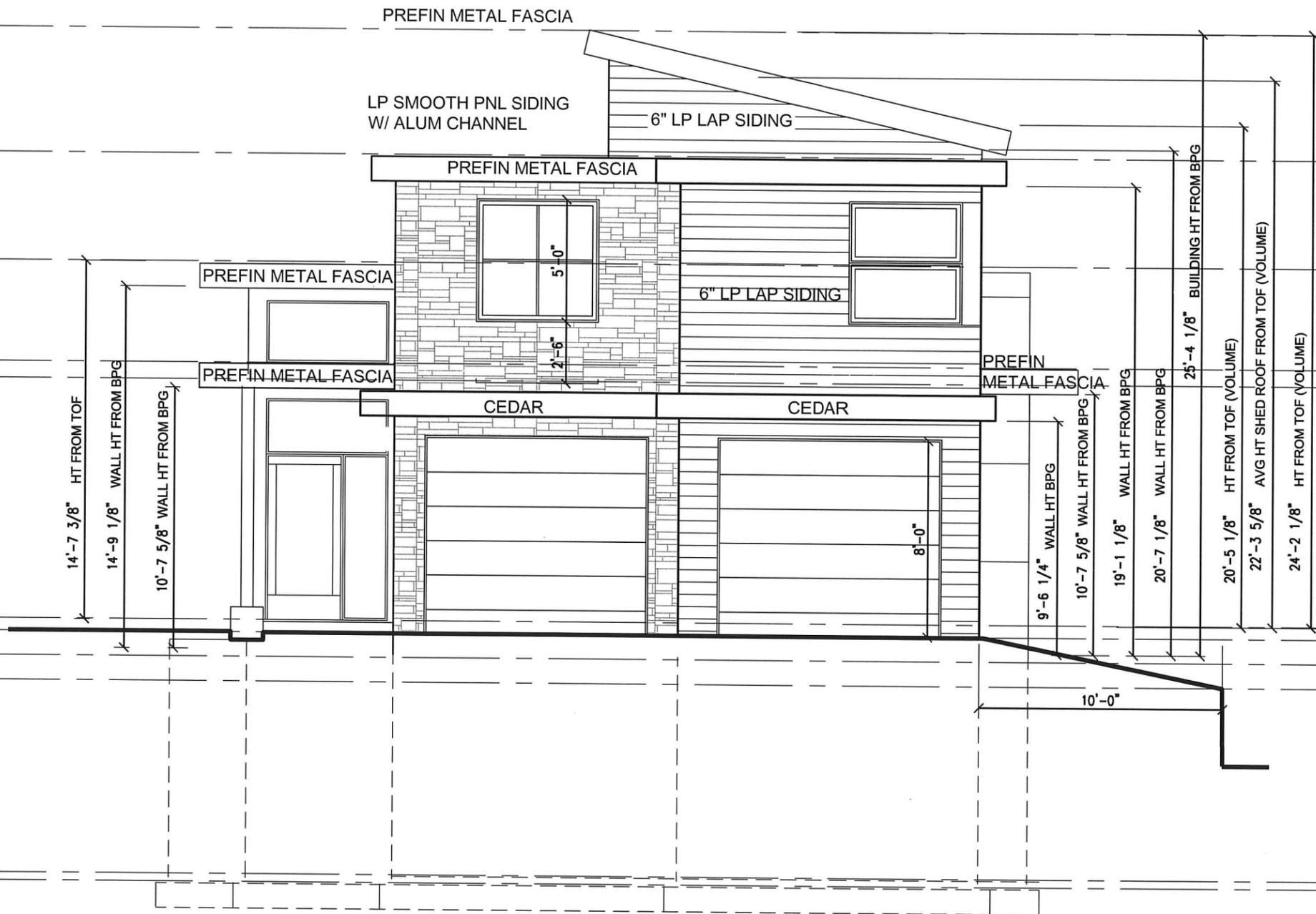
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TAMMY MAGNEY, AIA LICENSE NUMBER: 16917
EXPIRATION :JUNE 30, 2020

Sheet Number:

9



EAST ELEVATION $\frac{3}{16}'' = 1'-0''$

SIEVERS
HOME

PRE-CONSTRUCTION SET

ADDRESS:
5270 MEADVILLE STREET
GREENWOOD MN 55331

Sheet Title:
NORTH EXTERIOR
ELEVATION

Date: Updated October 14, 2019
Updated February 20, 2020
Updated May 8, 2020
City Council Update June 25, 2020

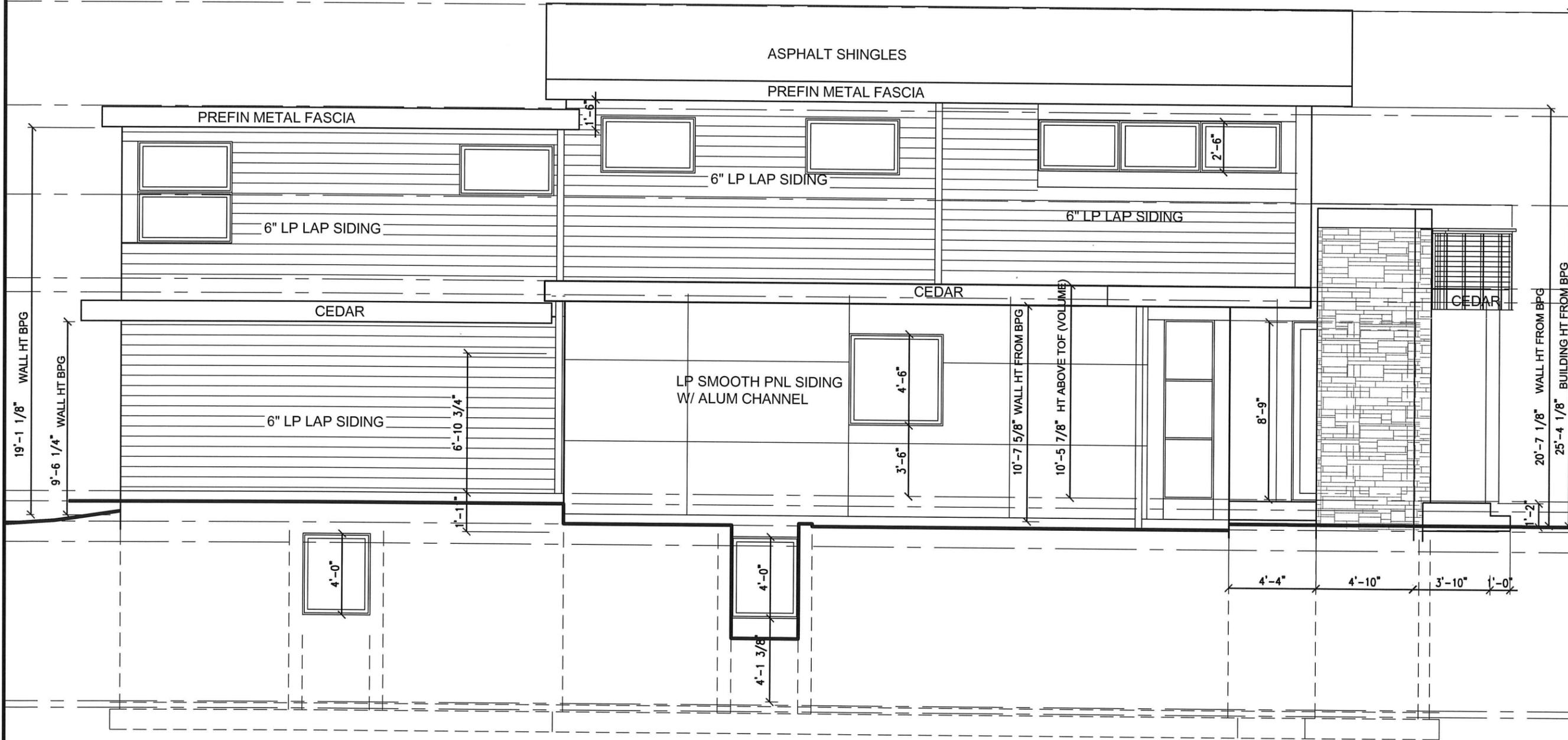
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TAMMY MAGNEY, AIA LICENSE NUMBER: 16917
EXPIRATION :JUNE 30, 2020

Sheet Number:

10



NORTH ELEVATION $\frac{3}{16}'' = 1'-0''$

SIEVERS
HOME

PRE-CONSTRUCTION SET

ADDRESS:
5270 MEADVILLE STREET
GREENWOOD MN 55331

Sheet Title:
WEST EXTERIOR
ELEVATION

Date: Updated October 14, 2019
Updated February 20, 2020
Updated May 8, 2020
City Council Update June 25, 2020

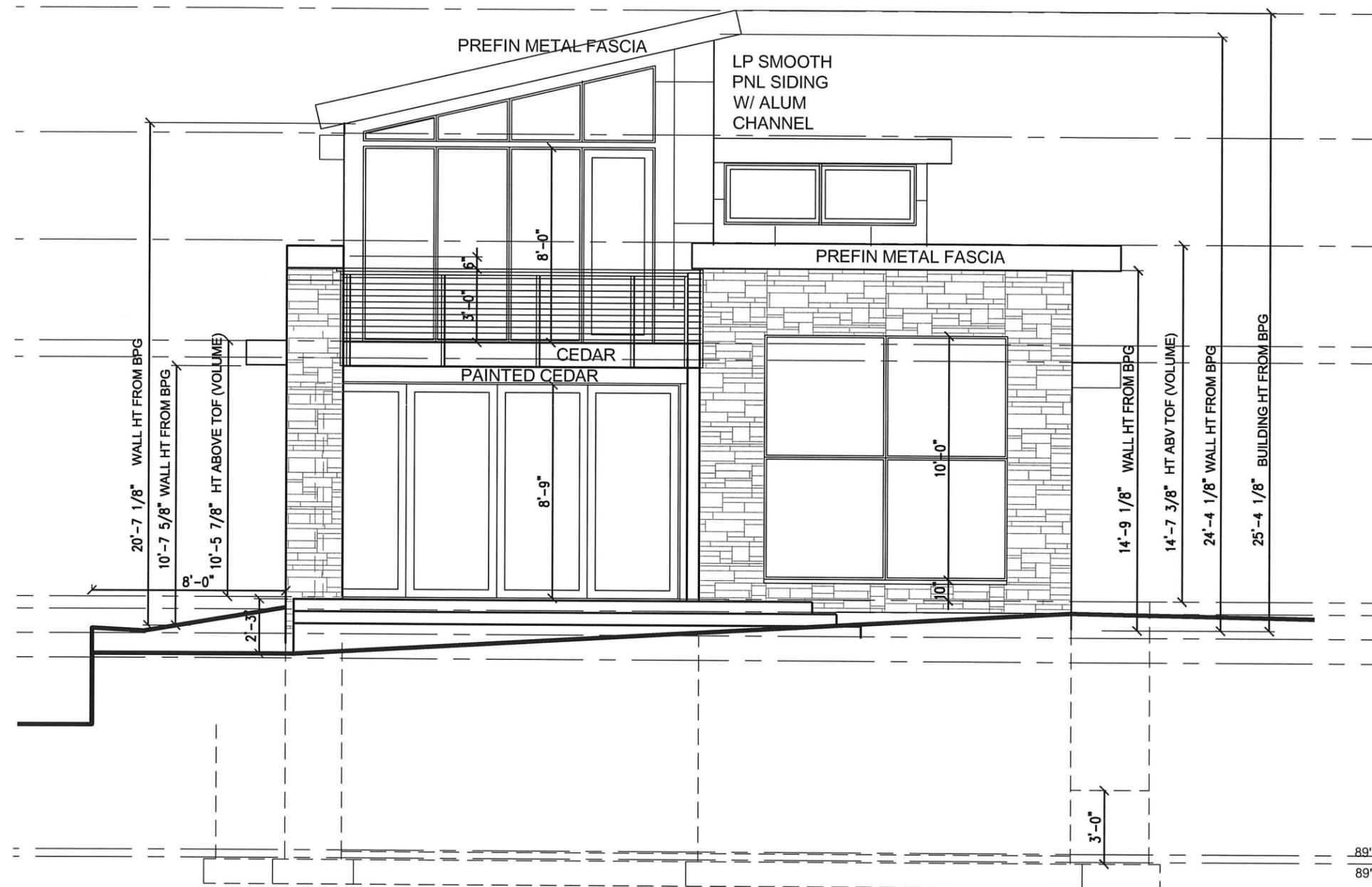
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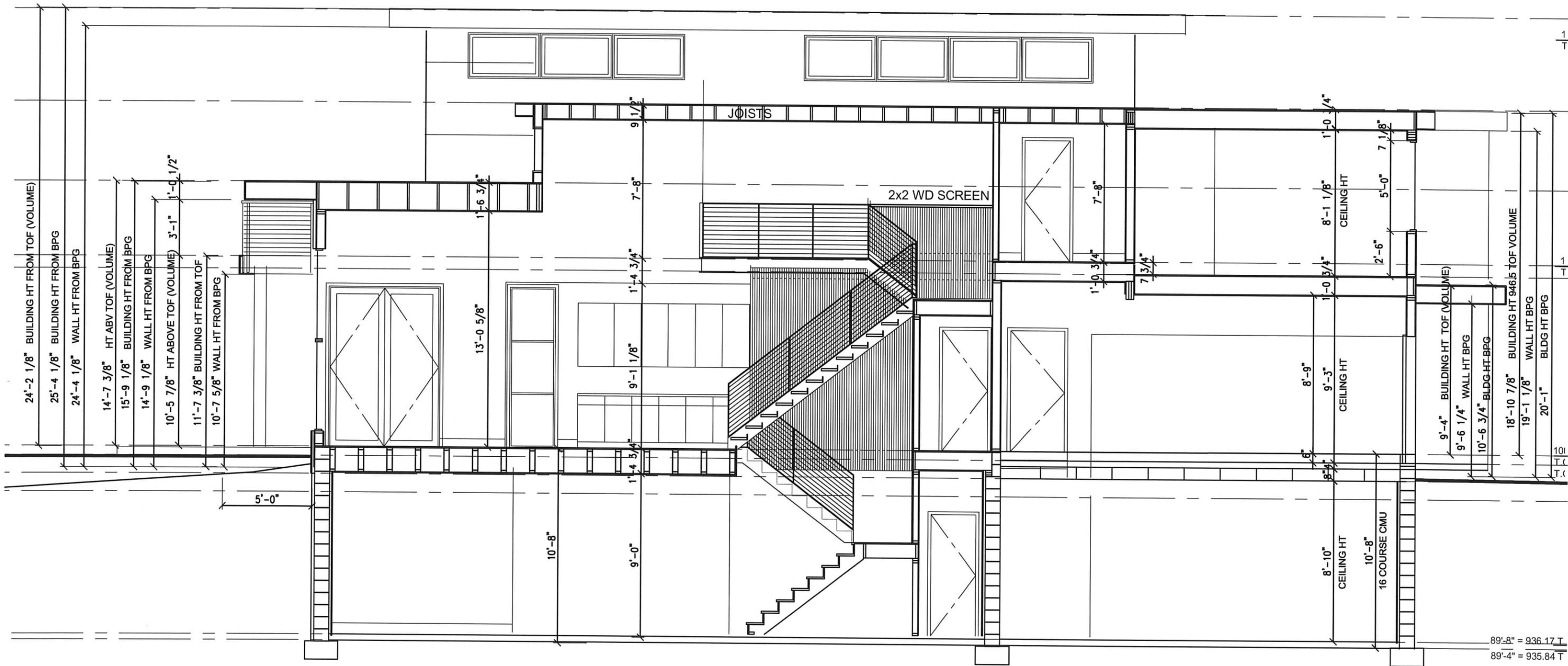
TAMMY MAGNEY, AIA LICENSE NUMBER: 16917
EXPIRATION: JUNE 30, 2020

Sheet Number:

11



WEST ELEVATION $\frac{3}{16}'' = 1'-0''$



EAST WEST SECTION FACING NORTH $\frac{3}{16}'' = 1'-0''$

SIEVERS HOME

PRE-CONSTRUCTION SET

ADDRESS:
5270 MEADVILLE STREET
GREENWOOD MN 55331

Sheet Title:
EAST WEST
BUILDING SECTION

Date: Updated October 14, 2019
Updated February 20, 2020
Updated May 8, 2020
City Council Update June 25, 2020

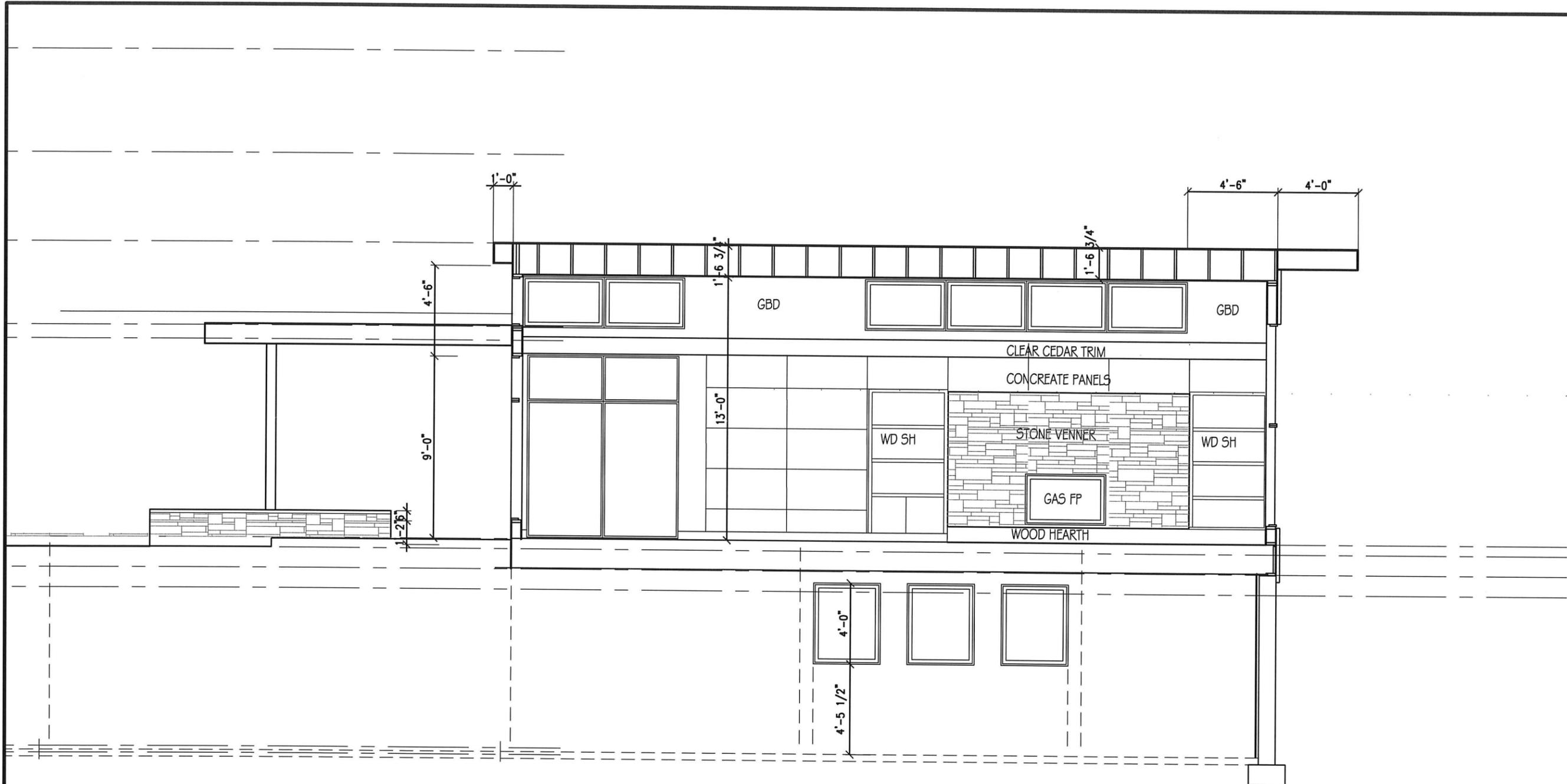
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STATE OF MINNESOTA

TAMMY MAGNEY, AIA LICENSE NUMBER: 16917
EXPIRATION :JUNE 30, 2020

Sheet Number:

13



EAST WEST SECTION FACING SOUTH $\frac{3}{16}'' = 1'-0''$

Meadville Street Building Permit Comparison

Zoning ordinance	Sievers - 5270 Meadville street			Kroening - 5260 Meadville Street			Jacobus - 5290 Meadville Street		
	Allowable	Actual	Applied for variance	Allowable	Actual	Approved variance	Allowable	Actual	Approved variance
Lot area	6750	7327		6750	7234		6750	6080	
Minimum lot width	45'	50'		45'	50'		45'	40'	
Minimum lot depth									
Allowable Volume 6 x area	43,962	38,025 CF		43,404	48,204	11%	36,480	36,200	verify
Floor plan min	800	2,067 sf including porch and garage		verify			800 SF (does this include the garage)		
House width minimum	25'	32'		25'	34'-8"		25'	32'	
Front Set back	30'	21'	21'	30'	2.7' verify	2.7' verify	30'	28'	28'
Side Set back	10'	8' north/10' south	8' on north	10'	7.1'north / 7.9' south	7.1'north / 7.9' south	8'	3'	3'
Lakeshore Set back	50'	50'		50'	50'		50'	50'	
Building Height	28' to avg of gable	25'-4"		28' to avg of gable	plan shows 20'-10" verify		28' to avg of gable	verify	
Structure Height	42'	25'-4"		42'	verify		42'		
Chimney	5' above structure height	na		5' above structure height	verify		5' above structure height		
Wall Height	1.5 x setback, do you using the zoning ordinance setback or actual	north 8' x 1.5 = 12' south 10' x 1.5=15'	19'-2" 4'-2" add	1.5 x setback	7.1'north x 1.5 = 10.65' 7.9' south x 1.5 = 11.85'	north is at 10'6 on plan but measures at 14' house 20' garage verify if eave counts for wall height, South is at 16'-3" on , guessing it measures 3'-6" higher	1.5 x setback	based on 8' = 12'	verify
Hardcover	for lots less than 10,000SF 40- (lot area SF x .001) = %			for lots less than 10,000SF 40- (lot area SF x .001) = %			for lots less than 10,000SF 40- (lot area SF x .001) = %		
	32.673			32.766	43.12%	verify based on new construction	33.92		
	33%	37.7%	37.7%	33%	43%	43%	34%	43.80%	43.80%

4,800

0.110589

Pat Smith

From: Bob Bean <Robert.Bean@bolton-menk.com>
Sent: Tuesday, June 23, 2020 8:42 AM
To: Pat Smith
Subject: RE: 5270 Meadville

Pat,

I provided my review to this on 6/11. I have pasted it below for your information:

I have completed review of the information provided. Following are my comments for City consideration:

1. Existing drainage patterns will be maintained with proposed improvements. Runoff from the middle of the lot will drain either east toward Meadville Street or west directly to the lake. Swales are proposed on side lot lines to direct runoff away from adjacent structures.
2. Swale grading must be verified by the City prior to restoration.
3. Perimeter erosion control measures must be installed by the Contractor and inspected by the City prior to any other work. Contractor must provide minimum 24 hour notice prior to inspection.
4. Work in public right-of-way must be coordinated with the City. Contractor shall provide minimum 24 hour notice prior to work. Bituminous pavement must be saw-cut for clean match lines. Extents of any removals must also be coordinated with the City prior to work.
5. Contractor shall contact Art Taylor (612-756-2048) for inspections and haul route review.
6. Retaining walls 4' or greater in height must be designed by a licensed Professional Engineer. Wall plans must be submitted for review and approval prior to installation.
7. A temporary construction easement must be obtained from the owner of 5260 Meadville Street for construction of the proposed retaining wall along the north property line. The easement must be provided to the City prior to approval of the plans.
8. Due to the amount of impervious surface proposed, stormwater management must be provided mitigate excess runoff to Meadville Street. If the applicant can revise swales and install roof downspouts to direct excess runoff directly to the lake, permanent facilities (i.e. rain garden, French drain, etc.) will not be required.
9. Clear drive lanes must be maintained on Meadville Street at all times.
10. The applicant will be required to obtain a Minnehaha Creek Watershed District permit for the proposed improvements. A copy of the permit must be provided to the City prior to any work.

If you have any questions or comments, please contact me to discuss further.

Thanks,

Robert E Bean Jr. P.E.
Water Resources Project Engineer
Bolton & Menk, Inc.
2638 Shadow Lane
Suite 200
Chaska, MN 55318-1172
Phone: 952-448-8838 ext. 2892
Mobile: 612-756-3184
Bolton-Menk.com

**RESOLUTION 19-20
CITY OF GREENWOOD, MINNESOTA**



APPROVING

the application of Colin Sievers for the property at 5270 Meadville Street for variances from Greenwood ordinance to exceed the wall height by 4 feet/1 inch, exceed the hardcover limit by 0.9%, encroach into the north side yard setback by 2 feet, encroach into the front yard setback by 8.8 feet, and exceed the number of trees removed by one.

WHEREAS, Colin Sievers (“Applicant”) is the owner of property commonly known as 5270 Meadville Street, Greenwood, Minnesota 55331, PID No 26-117-23-33-0006, being real property located in Hennepin County; and

WHEREAS, the Applicant proposes to exceed the wall height by 4 feet/1 inch, exceed the hardcover limit by 0.9%, encroach into the north side yard setback by 2 feet, encroach into the front yard setback by 8.8 feet, and exceed the number of trees removed by one in order to construct a new house; and

WHEREAS, notice of a public hearing was published, notice given to neighboring property owners, and a public hearing was held before the Planning Commission on June 10, 2020 to consider the application; and

WHEREAS, the City Council of the City of Greenwood has received the staff report, the recommendation of the Planning Commission, and considered the application, the comments of the applicant, and the comments of the public.

NOW, THEREFORE, IT IS RESOLVED that the City Council of the City of Greenwood, Minnesota does hereby grant the variance requests to exceed the wall height by 4 feet/1 inch, exceed the hardcover limit by 0.9%, encroach into the north side yard setback by 2 feet, encroach into the front yard setback by 8.8 feet, and exceed the number of trees removed by one based on the following:

FINDINGS OF FACT

1. The applicant has designed a modest-size house, smaller than recent houses built on smaller lots along Meadville Street. The proposed encroachments are minor and remain in harmony with the purpose and intent of the ordinance.
2. The request is consistent with the Comprehensive Plan’s Housing Elements Goals and Policies which encourage residents to maintain and/or modernize the Greenwood’s housing stock.
3. The proposed development is a reasonable use of this property because the hardcover increase is due solely to adding a second car garage. A two-car garage is a reasonable use in Greenwood. In addition, the house at 41,008 cubic feet is smaller than recent houses constructed on smaller lots along Meadville Street. Finally, the front and side yard encroachments are minimal projections of the house.
4. There are unique circumstances to the property not created by the landowner in that at 50 feet wide, it is extremely challenging to have a two-car garage with an attractive street presence within the 30 feet that is allowed by the zoning ordinance. The requested variances result in a house design that will be more attractive for the community than if the house strictly met the zoning code regulations.
5. The variance would not alter the essential character of the locality because the proposed project is of a scope and scale comparable to the existing conditions on neighboring properties. The house will still be setback 42 feet from the street. The proposed wall heights are similar to the wall heights of the recent house addition to the north.

CONDITIONS

The approval of the variance is subject to the following conditions:

1. Prior to issuance of a building permit, the applicant shall record this resolution in the chain of title for the property with Hennepin County and shall provide the City with verification of its recording.
2. The project shall be completed according to the plans dated June 24, 2020.
3. All applicable permits are applied for by the applicant with all supporting documentation and issued prior to the start of construction.
4. The variance shall expire one year from the date of adoption of the resolution if not acted upon. City approval will be required for any subsequent extension.

ADOPTED by the City Council of the city of Greenwood, Minnesota, this 7th day of July, 2020.

___ AYES ___ NAYS

CITY OF GREENWOOD

By: _____
Debra J. Kind, Mayor

Attest: _____
Dana H. Young, City Clerk



Agenda Number: 7B

Agenda Date: 07-07-20

Prepared by Deb Kind

Agenda Item: Discuss Potential Amendments to Small Cell Wireless Ordinance

Summary: Councilman Fletcher requested this item be included on the council agenda for discussion. For the council's reference, attached are materials from Edina regarding recent changes to their Small Cell Wireless Ordinance.

At the 05-06-20 city council meeting, the consensus of the city council was that the council is okay with Fletcher contacting the League of MN Cities and the city attorney to get advice regarding a potential Small Cell Wireless ordinance and report back to the city council.

At the 06-03-20 city council meeting, the council approved the following motion ...

Motion by Fletcher to continue this item to the 07-07-20 council agenda. Second by Kind. Motion passed 5-0 on a roll-call vote.

At the 07-07-20 city council meeting, the council will discuss this topic.

Council Action: No action required. Potential motions ...

1. I move the city council (1) directs staff to draft an ordinance amending the Greenwood code regarding small cell wireless facilities based on the council discussion, and (2) directs that the planning commission holds a public hearing and makes a recommendation to the city council regarding the ordinance.
2. Do nothing or other motion.



CITY OF EDINA

4801 West 50th Street

Edina, MN 55424

www.edinamn.gov

Date: April 21, 2020

Agenda Item #: VI.H.

To: Mayor and City Council

Item Type:
Report / Recommendation

From: Chad A. Millner, P.E. Director of Engineering

Item Activity:

Subject: Ordinance No. 2020-05: Repealing and Replacing Sections of Chapter 24 of the Edina City Code Concerning Small Wireless Facility Standards

Action

ACTION REQUESTED:

Approve Ordinance No. 2020-05, Repealing and Replacing Sections of Chapter 24 of the Edina City Code Concerning Small Wireless Facility Standards and grant second reading.

INTRODUCTION:

Questions from first reading:

1. Redlines from Verizon: The City Attorney has reviewed the suggested edits to the ordinance from Verizon Wireless and it is our opinion to keep the ordinance language as drafted.
2. Public Health: Applicants are required to submit radio frequency information detailing how their equipment is in compliance with the FCC's Maximum Permissible Exposure (MPE) Limits for general public exposure and occupational exposures to radio frequency electromagnetic energy.

This ordinance change allows shrouded small cell sites in all zoning districts except R1 Single Dwelling Unit and R2 Double Dwelling Unit. It also clarifies specifications of the required concealed pole. Please see staff report and graphics attached.

ATTACHMENTS:

Staff Report: Ordinance No. 2020-05 Repealing and Replacing Sections of Chapter 24

Ordinance 2020-05: Repealing and Replacing Sections of Chapter 24

Appendix: Example of Antennae



Date: April 21, 2020

To: Mayor and City Council

From: Chad A. Millner, P.E. Director of Engineering

Subject: Ordinance No. 2020-05: Repealing and Replacing Sections of Chapter 24 of the Edina City Code Concerning Small Wireless Facility Standards

Information / Background:

Staff recommends repealing and replacing sections of Chapter 24 of the City Code concerning small wireless facility standards. The city attorney drafted recommended changes. The proposed changes allow shrouded small cell antennas in all zoning districts EXCEPT R1 Single Dwelling Unit and R2 Double Dwelling Unit. It also updates the design standards that require wireless facilities be concealed inside the support structure or below ground.

Staff recommends adopting Ordinance 2020-05 and granting second reading.

ORDINANCE NO. 2020-05

**AN ORDINANCE AMENDING CHAPTER 24, ARTICLE III
OF THE EDINA CITY CODE CONCERNING SMALL
WIRELESS FACILITIES AND WIRELESS SUPPORT
STRUCTURES LOCATED IN THE PUBLIC RIGHT-OF-
WAY**

THE CITY COUNCIL OF EDINA ORDAINS:

Section 1. Section 24-53.(d)(1) of the Edina City Code is amended by adding the underline language and removing the strikethrough language as follows:

(d) *Standards for wireless telecommunication facilities.*

(1) *Purpose.* The city desires high quality wireless communication services to accommodate the needs of residents and businesses. At the same time, the city strives to minimize the negative impacts associated with wireless facility deployments. Such negative impacts may include interference with the right-of-way sight lines, aesthetic impacts that are inconsistent with the surrounding area, fall zone and clear zone risks, navigation obstacles, interference with future right-of-way improvement or transportation improvement plans, interference with the installation or maintenance of other utilities, and increased visual or noise pollution. Due to the many services that must be delivered within its limited area, the city also strives to avoid unnecessary encumbrances within the public right-of-way. The city allows and regulates wireless telecommunication facilities outside of the public right-of-way through performance standards and height limits. The purpose of this article is to regulate wireless telecommunication facilities within the public right-of-way in a manner that balances desire for service with aesthetic, public safety, and right-of-way flexibility concerns.

To address such impacts, any person desiring to collocate wireless facilities or place new wireless support structures in the right-of-way must first obtain a wireless facility permit. Moreover, any person seeking to collocate a wireless facility on an existing wireless support structure owned or controlled by the city must first enter a standard collocation agreement.

The following aesthetic standards and requirements are intended to maintain the city's aesthetic environment while also allowing for the availability of wireless services, including broadband and "5G" services, using small wireless facilities. These standards are intended to establish clear and consistent aesthetic standards for wireless facility placements in the city and establish a streamlined review and approval process. The city will make these standards publicly available. The city desires to promote aesthetically acceptable and area conforming wireless facilities

using the smallest and least intrusive means available to provide wireless services to the community.

These standards, which are meant to protect the public health, safety, and welfare, apply to all wireless telecommunication facilities on city-owned and non-city owned support structures and placement and replacement of wireless support structures in the public right-of-way. Wireless facilities and wireless support structures will be allowed in the public right-of-way as provided in this article ~~and section 36-434~~. Compliance with these standards is a requirement for, and condition of, issuance of a small wireless facility permit. Any installation that does not conform to these standards will be in violation of the associated permit and the city's right-of-way ordinance.

In addition to the following standards the placement of new support structures for small wireless facilities shall be subject to any conditions specified in the small wireless facility permit. ~~Applications to install new wireless support structures in districts or areas zoned for single-family residential use or within a historic district established by federal or state law or city ordinance as of the date of application shall further be subject to any conditions contained in the required conditional use permit authorizing such installation.~~

With respect to city-owned support structures, these standards additionally seek to:

- a. Establish a menu of design options for providers to select from when applying for new small wireless facility permits associated with city support structures.
- b. Minimize unnecessary placement of new poles by encouraging collocation of small wireless facilities.
- c. In situations where city support structures will be replaced, require that the structures be of stealth design such that the maximum amount of facilities, including any wiring, are concealed inside the structure.
- d. In situations where attachments will be made to existing poles, require that facilities, equipment, cabling, and conduit be concealed through the use of approved shrouding or camouflaging.

Section 2. Section 24-53.(d)(2)d. of the Edina City Code is amended by adding the underline language and removing the strikethrough language as follows:

- d. The wireless telecommunication facility shall not extend more than ten feet above the top of the an existing public utility structure that was in place as of May 31, 2017 ~~and the height of the existing public utility structure shall not be increased to accommodate the wireless telecommunication facility.~~

Section 3. Section 24-53.(d)(2)e. of the Edina City Code is amended by adding the underline language and removing the strikethrough language as follows:

- e. If the public utility structure must be replaced to structurally accommodate the wireless telecommunication facility, the replacement public utility structure shall remain in its existing location unless otherwise permitted by the city. Replacement public utility structure height shall not exceed 50 feet above ground level or the height of the existing public utility structure height whichever is greater and the replacement public utility structure diameter shall not exceed ~~the existing public utility structure diameter by more than 50 percent~~ 24 inches in diameter from the ground level to 5 feet above ground level in height and from 5 feet above ground level in height to the top of the public utility structure the diameter shall not exceed the diameter needed for structure support. Concealed poles shall meet the specifications of a Valmont concealed pole or approved equal in size.

Section 4. Section 24-53.(d)(2) of the Edina City Code is amended by adding paragraph m. as follows:

- m. Shrouded small wireless facilities shall not be permitted in the right-of-way in any zoning district designated R1 (single dwelling unit district) or R2 (double dwelling unit district) but shall be permitted in the right-of-way in all other zoning districts. A shrouded small wireless facility is a small wireless facility that has all antennas and cables fully covered, concealed, or screened.

Section 5. Section 24-53.(d)(3)c. of the Edina City Code is amended by adding the underline language and removing the strikethrough language as follows:

- c. The replacement public utility structure diameter shall not exceed ~~the existing public utility structure diameter by more than 50 percent~~ 24 inches in diameter from the ground level to 5 feet above ground level in height and from 5 feet above ground level in height to the top of the public utility structure the diameter shall not exceed the diameter needed for structure support. Concealed poles shall meet the specifications of a Valmont concealed pole or approved equal in size.

Section 6. Section 24-53.(d)(4)a. of the Edina City Code is amended by adding the underline language and removing the strikethrough language as follows:

(4) *Poles.*

- a. The erection in the right-of-way of a new pole to support wireless telecommunication facilities is not allowed, except:
 - 1. When attachment to existing utility or city poles is not feasible; or
 - 2. The new pole is owned by the city; or

3. When the pole meets the definition of a wireless support structure. ~~Wireless support structures are permitted in the public right-of-way in the R-1 zoning district by conditional use permit pursuant to section 36-434. Wireless support structures are a permitted use in the public right-of-way in all other zoning districts.~~

Section 7. Section 24-53.(d)(4)b. of the Edina City Code is amended by adding the underline language and removing the strikethrough language as follows:

- b. New and replacement poles when allowed shall not exceed 350 feet in height or the height of the replaced wireless support structure whichever is greater ~~and four feet in circumference~~ and 24 inches in diameter from the ground level to 5 feet above ground level in height and from 5 feet above ground level in height to the top of the public utility structure the diameter shall not exceed the diameter needed for structure support. Concealed poles shall meet the specifications of a Valmont concealed pole or approved equal in size. ~~except that new wireless support structures in the right of way shall not exceed 50 feet in height or the height of the replaced wireless support structure, whichever is greater.~~

Section 8. Section 24-60 of the Edina City Code is amended by adding the underline language and removing the strikethrough language as follows:

- (a) Within 120 days following completion of any work pursuant to a permit, the registrant shall provide the engineer accurate maps and drawings certifying the as-built location of all facilities and equipment installed, owned and maintained by the registrant. Such maps and drawings shall indicate both the horizontal and vertical location of all facilities and equipment and shall be provided in a format consistent with the city's electronic mapping system. Failure to provide maps and drawings in accordance with this section shall be grounds for revoking the permit holder's registration.
- (b) Additional Construction Information: In addition, the right-of-way user that installs a new or replacement wireless support structure or pole shall submit to city at the time the project is completed a completion certificate signed by an engineer licensed by the state of Minnesota verifying the wireless support structure or pole has been installed according to the structural design.

Section 9. This ordinance is effective _____, 2020.

First Reading:

Second Reading:

Published:

ATTEST:

Sharon Allison, City Clerk

James A. Hovland, Mayor

Please publish in the Edina Sun Current on:
Send two affidavits of publication
Bill to Edina City Clerk

CERTIFICATE OF CITY CLERK

I, the undersigned duly appointed and acting City Clerk for the City of Edina, do hereby certify that the attached and foregoing Ordinance was duly adopted by the Edina City Council at its Regular Meeting of _____, 2017 and as recorded in the Minutes of Said Regular Meeting.

WITNESS my hand and seal of said City this _____ day of _____, 2017.

City Clerk

Appendix

Example: Shrouded Small Cell Antennae



Example: Valmont Concealed Antennae Pole





Agenda Number: **7C**

Agenda Date: **07-07-20**

Prepared by Pat Smith

Agenda Item: Impervious Surface Coverage Definition

Summary: Cities regulate the total amount of impervious surface, or hardcover, to control the rate of stormwater runoff from development of properties.

On June 3, 2020, the City Council added the horizontal area of retaining walls to the definition of impervious surfaces. With that change, the Greenwood's zoning ordinance now defines Impervious Surface as,

a surface that either prevents or retards the passage of rainwater through it or causes water to run off the surface in greater quantities and at an increased rate of flow than prior to development. Impervious surface shall include, but are not limited to, all buildings, driveways, and parking areas (though they be paved or MnDOT class 5 sand and gravel mix), pavers, tennis courts, sidewalks, walkways, patios, boardwalk decks, swimming pools, the horizontal area of retaining walls and plastic landscaping sheets which are not porous.

At the June 3 meeting, the City Council agreed to consider the possibility of creating an ordinance to allow permeable pavers. However, rather than adding an ordinance to permit permeable pavers (which would require maintenance agreements), Staff recommends the City Council revise the definition of Impervious Surface with a focus on limiting surfaces that actually increase the rate of water runoff.

Staff surveyed five communities to determine if there were any common themes on how cities regulate impervious surface or hardcover. The definitions are attached. Most communities define "impervious surface" as a surface that causes water to runoff the surface in greater quantities and at an increased rate of flow than prior to development. Staff contacted the City Zoning Administrators at all of the surveyed cities. None of them count retaining walls as hardcover.

Minnetonka has a very general definition – "a material providing a hardsurface that prevents normal infiltration of water into the ground." The Minnetonka's City Planner said the City views impervious surface from the perspective of run off and infiltration so a pool, even though it collects and evaporates water, is hardcover because the water cannot infiltrate. Generally, the city does not count rocks unless it is a patio surface because it is just too nebulous. Besides Greenwood and Deephaven, Minnetonka is the only city surveyed that includes pools as hardcover.

Excelsior and Victoria exempted small accessory structures, less than 120 square feet, because the cost of completing a survey could double the cost of installing a small storage shed.

Some examples of Greenwood's definition of impervious surface really do not increase the amount of water runoff or the rate of water runoff. For example, pools actually act like an above-ground cistern and prevent water runoff. Decks constructed over a permeable surface have very little effect on stormwater runoff since water drops down to the permeable surface. Retaining walls, similar to garden edging, usually have permeable surfaces on one side of the retaining wall or garden edging. Retaining walls actually slow the rate of storm water runoff by leveling slopes. Greenwood is the only city that defines plastic landscaping sheets as an impervious surface. Plastic landscaping sheets are usually under the surface and are also difficult to enforce since they are not visible.

Suggested City Council Action:

I move the City Council directs staff to draft an ordinance that revises the definition Impervious Surfaces to include only items that increase the rate of water runoff and that are enforceable.

City	Impervious Surface/lot coverage Definition
Greenwood	means a surface that either prevents or retards the passage of rainwater through it or causes water to run off the surface in greater quantities and at an increased rate of flow than prior to development. Impervious surface shall include, but are not limited to, all buildings, driveways, and parking areas (though they be paved or MnDOT class 5 sand and gravel mix), pavers, tennis courts, sidewalks, walkways, patios, boardwalk decks, swimming pools, and plastic landscaping sheets which are not porous.
Minnetonka	a material providing a hardsurface that prevents normal infiltration of water into the ground.
Excelsior	The area of a lot occupied by buildings, accessory structures in excess of 120 square feet, parking areas and all paved surfaces. Buildings shall be measured at the outer edge of the foundation line. Lot coverage shall not include projections for bay windows, permeable walkways (e.g. flagstone), swimming pools, fences, walls, and open-patterned decks and stairways that are installed over a permeable surface.
Victoria	means the area of a lot occupied by buildings, accessory structures in excess of 120 square feet, parking areas and all paved and gravel surfaces. Buildings shall be measured at the outer edge of the foundation line. Lot coverage shall not include projections for bay windows, permeable walkways (e.g. flagstone), swimming pools, fences, walls and open patterned decks and stairways that are installed over a permeable surface.
Chanhassen	A surface that either prevents or retards the entry of water into the soil and causes water to run off the surface in greater quantities and at an increased rate of flow than prior to development. Examples include, but are not limited to, structures, storage areas, roads, sidewalks, patios, driveways, or parking lots made of concrete, asphalt, rock, or non-pervious pavement systems.
St. Louis Park	means a surface that has been compacted or covered with a layer of material so that it is highly resistant to infiltration by water. It includes surfaces such as compacted sand, limerock, or clay, as well as most conventionally surfaced streets, roofs, sidewalks, parking lots, and other similar structures.
Deephaven	means any surface impervious or resistant to the free flow of moisture or surface water seeping into the ground. Impervious cover shall include but not be limited to all buildings, driveways and parking areas whether paved or not, tennis courts, sidewalks, walkways, patios, boardwalks, decks and swimming pools.



Agenda Number: **9A**

Agenda Date: **07-07-20**

Prepared by *Deb Kind*

Agenda Item: Discuss Fire Lane Between 5120 & 5130 Meadville

Summary: In May 2016, the council received a petition with requests from adjacent property owners regarding the fire lane located between 5120 and 5130 Meadville Street.

At the 06-01-16 council meeting, the city council heard resident input and approved the attached resolution with the following motion ...

Motion by Fletcher that the city council approves resolution 27-16 with the following revisions: (1) strike "No tree or shrub shall be removed," (2) change "Residents Only" sign to "Greenwood Resident Parking Only" sign. Second by Quam. Motion passed 4-0. (Kind, Fletcher, Quam, and Roy voted in favor; Cook was absent).

At the 07-06-16 council meeting, the city council discussed the use and maintenance of fire lane located between 5120 & 5130 Meadville Street and approved the following motion ...

Motion by Fletcher to authorize up to \$1,500 from the general fund contingency and \$5,000 from the park fund for the following maintenance projects and new installations at the fire lane located between 5120 & 5130 Meadville Street: (A) Remove lilac bushes and replace with grass; (B) Clean out the existing drainage swale and install new river rock; (C) Install new rip-rap. Second by Cook. Motion passed 5-0.

On 07-10-16, Mark Krezowski (5130 Meadville Street) contacted city council members via email to express concerns regarding the removal of the lilac bushes in the fire lane. On 07-13-16, Mr. Krezowski contacted city council members again via email regarding a petition he was circulating and requested the council reconsider the decision to remove the lilac bushes. On 07-15-20, the administrative committee (Councilman Tom Fletcher & Mayor Deb Kind) agreed to put the removal of the lilac bushes on hold pending the submission of the petition and council discussion at the 08-03-16 meeting.

At the 08-03-16 council meeting, adjacent property owners Mark & Katherine Krezowski, 5130 Meadville Street, presented a petition to the city council signed by 76 residents requesting that the lilacs not be removed and the council approved the following motion ...

Motion by Roy that the city council repeals the 07-06-16 decision to remove the lilac bushes located at the fire lane between 5120 & 5130 Meadville Street. Second by Quam. Motion passed 4-0-1 with Fletcher abstaining.

At the 07-05-17 council meeting, the city council discussed a request from Mark & Katherine Krezowski, 5130 Meadville Street, to allow their dock to encroach 5ft into the 5ft setback from the side property lines extended into the water. The city council approved the following motion ...

Motion by Kind that the city council (1) denies the request for a dock setback encroachment agreement for Katherine and Mark Krezowski, 5130 Meadville Street; and (2) directs that a copy of this motion be sent to the executive director of the Lake Minnetonka Conservation District. Second by Quam. Motion passed 3-1 (Kind, Conrad, and Quam voted in favor; Cook voted nay; Fletcher was absent).

At the 06-03-20 council meeting, Fletcher requested that a discussion regarding the fire lane between 5120 and 5130 Meadville be placed on the 07-07-20 agenda for discussion. For the council's reference, attached is a site plan of the Krezowski's property and an aerial image from Hennepin County.

Council Action: No council action is required. Potential motions ...

1. I move the city council directs that a new resolution be drafted with the following revisions _____.
2. I move the city council directs that _____.
3. Do nothing or other motion ???



**City of Greenwood
Resolution 27-16**

A RESOLUTION REGARDING THE MEADVILLE "FIRE LANE" LOCATED BETWEEN 5120 & 5130 MEADVILLE ST

WHEREAS, the city council of the city of Greenwood has received a petition with requests from adjacent property owners regarding that certain public right-of-way approximately 50 feet in width lying between PID parcels 26-117-23-32-0015 and 26-117-23-31-0008 along Meadville Street.

WHEREAS, the petition requests:

1. That the "No Outlet" sign be replaced with a "Residents Only" sign;
2. That the current Meadville Street sign be reduced to a single sign oriented North-South; and
3. That a white stripe be painted on the center line of Meadville Street as it turns the corner in front of the Meadville fire alley.

WHEREAS, said property abuts Lake Minnetonka and is presently used, in part, to access neighboring properties.

WHEREAS, adjacent property owners report that the use of said property by the general public affects the safety and welfare of adjacent property owners.

WHEREAS, the city council has taken into consideration the comments of the public and the interest of the city as a whole.

NOW, THEREFORE, BE IT RESOLVED by the city council of the city of Greenwood, Minnesota that the conditions and principles outlined in resolution 2-98A are hereby repealed.

AND BE IT FURTHER RESOLVED that the said area shall be managed under the following conditions and principles:

- (a) It shall not be improved; and
- (b) It shall not be developed;
- (c) No swimming beach shall be developed thereat;
- (d) No fishing shall be authorized thereat;
- (e) No boat docking shall be permitted thereat;
- (f) Snowmobiles shall not be permitted to travel over and across the parcel;
- (g) The property shall not be denominated by the city as a "park";
- (h) The current "No Outlet" sign shall be replaced with a "Greenwood Resident Parking Only" sign;
- (i) The current Meadville Street sign blades shall be replaced with 2 new Meadville Street sign blades with arrows indicating the road continues around the hard curve in both directions; and
- (j) A stripe shall be painted on the center line of Meadville Street as it continues around the hard curve.

ADOPTED by the city council of Greenwood, Minnesota this 1st day of June, 2016.

4 AYES 0 NAYS

CITY OF GREENWOOD

By: _____
Debra J. Kind, Mayor

Attest: _____
Dana H. Young, City Clerk



Meadville St

Meadville St



GRADING & EROSION CONTROL NOTES:

BEFORE DEMOLITION AND GRADING BEGIN

- Install silt fence/bio roll around the perimeter of the construction area.
- Sediment control measures must remain in place until final stabilization has been established and then shall be removed. Sediment controls may be removed to accommodate short term construction activity but must be replaced before the next rain.
- A temporary rock construction entrance shall be established at each access point to the site and a 6 inch layer of 1 to 2 inch rock extending at least 50 feet from the street into the site and shall be underlain with permeable geotextile fabric. The entrance shall be maintained during construction by top dressing or washing to prevent tracking or flow of sediments onto public streets, walks or alleys. Potential entrances that are not so protected shall be closed by fencing to prevent unprotected exit from the site.
- Contractor shall install inlet protection on all existing storm sewer inlets in accordance with the city standard details. Inlet protection shall also be provided on all proposed storm sewer inlets immediately following construction of the inlet. Inlet protection must be installed in a manner that will not impound water for extended periods of time or in a manner that presents a hazard to vehicular or pedestrian traffic.

DURING CONSTRUCTION:

- When dirt stockpiles have been created, a double row of silt fence shall be placed to prevent escape of sediment laden runoff and if the piles or other disturbed areas are to remain in place for more than 14 days, they shall be seeded with Minnesota Department of Transportation Seed Mixture 22-111 at 100 lb/acre followed by covering with spray mulch.
- A dumpster shall be placed on the site for prompt disposal of construction debris. These dumpsters shall be serviced regularly to prevent overflowing and blowing onto adjacent properties. Disposal of solid wastes from the site shall in accordance with Minnesota Pollution Control Agency requirements.
- A separate container shall be placed for disposal of hazardous waste. Hazardous wastes shall be disposed of in accordance with MPCA requirements.
- Concrete truck washout shall be in the plastic lined ditch and dispose of washings as solid waste.
- Sediment control devices shall be regularly inspected and after major rainfall events and shall be cleaned and repaired as necessary to provide downstream protection.
- Streets and other public ways shall be inspected daily and if litter or soils has been deposited it shall promptly be removed.
- If necessary, vehicles, that have mud on their wheels, shall be cleaned before exiting the site in the rock entrance areas.
- Moisture shall be applied to disturbed areas to control dust as needed.
- Portable toilet facilities shall be placed on site for use by workers and shall be properly maintained.
- If it becomes necessary to pump the excavation during construction, pump discharge shall be into the stockpile areas so that the double silt fence around these areas can filter the water before it leaves the site.
- Temporary erosion control shall be installed no later than 14 days after the site is first disturbed and shall consist of broadcast seeding with Minnesota Department of Transportation Seed Mixture 22-111 at 100 lb/acre followed by covering with spray mulch.
- Erosion control measures shown on the erosion control plan are the absolute minimum. The contractor shall install temporary earth dikes, sediment traps or basins and additional silt fencing as deemed necessary to control erosion.

SITE WORK COMPLETION:

- When final grading has been completed but before placement of seed or sod an "as built" survey shall be done per City of Greenwood requirements to insure that grading was properly done.
- When any remedial grading has been completed, sod or seeding shall be completed including any erosion control blankets for steep areas.
- When turf is established, silt fence and inlet protection and other erosion control devices shall be disposed of and adjacent streets, alleys and walks shall be cleaned as needed to deliver a site that is erosion resistant and clean.
- Contractor shall maintain positive drainage of a minimum 2% slope away from proposed building.

LEGAL DESCRIPTION:

Northeasterly 1/2 Front and Rear of Lot 194, Auditor's Subdivision No. 141, Hennepin County, Minnesota.

SCOPE OF WORK & LIMITATIONS:

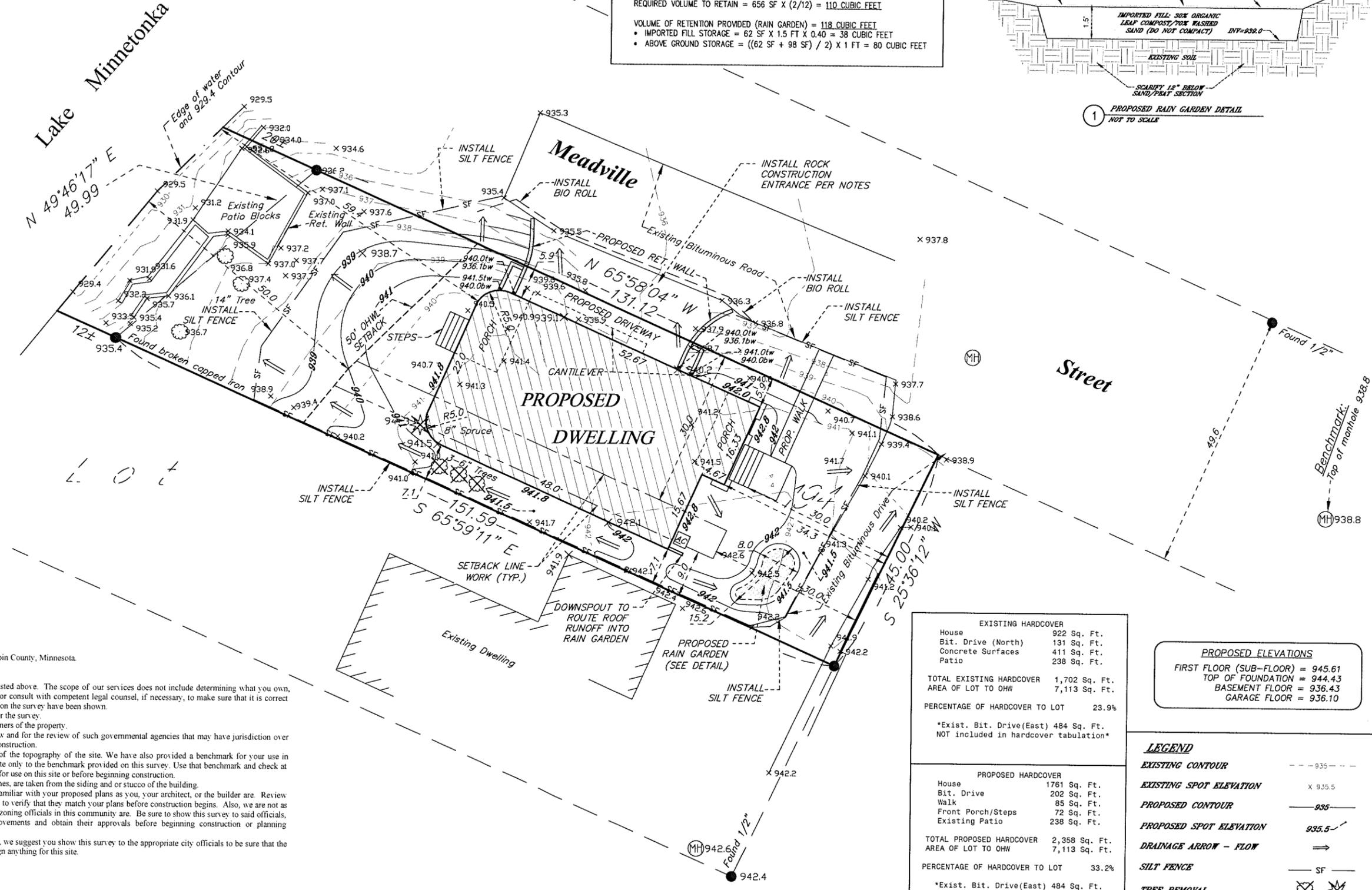
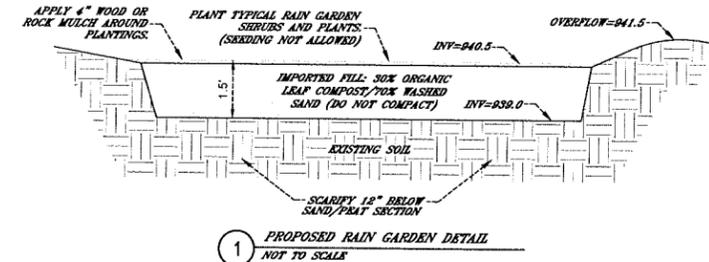
1. Showing the length and direction of boundary lines of the legal description listed above. The scope of our services does not include determining what you own, which is a legal matter. Please check the legal description with your records or consult with competent legal counsel, if necessary, to make sure that it is correct and that any matters of record, such as easements, that you wish to be included on the survey have been shown.
2. Showing the location of observed existing improvements we deem necessary for the survey.
3. Setting survey markers or verifying existing survey markers to establish the corners of the property.
4. Showing and tabulating impervious surface coverage of the lot for your review and for the review of such governmental agencies that may have jurisdiction over these requirements to verify they are correctly shown before proceeding with construction.
5. Showing elevations on the site at selected locations to give some indication of the topography of the site. We have also provided a benchmark for your use in determining elevations for construction on this site. The elevations shown relate only to the benchmark provided on this survey. Use that benchmark and check at least one other feature shown on the survey when determining other elevations for use on this site or before beginning construction.
6. Note that all building dimensions and building tie dimensions to the property lines, are taken from the siding and or stucco of the building.
7. While we show a proposed location for this home or addition, we are not as familiar with your proposed plans as you, your architect, or the builder are. Review our proposed location of the improvements and proposed yard grades carefully to verify that they match your plans before construction begins. Also, we are not as familiar with local codes and minimum requirements as the local building and zoning officials in this community are. Be sure to show this survey to said officials, or any other officials that may have jurisdiction over the proposed improvements and obtain their approvals before beginning construction or planning improvements to the property.
8. While we show the building setback lines per the City of Greenwood web site, we suggest you show this survey to the appropriate city officials to be sure that the setback lines are shown correctly. Do this BEFORE you use this survey to design anything for this site.

STANDARD SYMBOLS & CONVENTIONS:

• Denotes iron survey marker, set, unless otherwise noted.

STORMWATER MANAGEMENT REQUIREMENTS

VOLUME CONTROL - ONSITE RETENTION OF 2-INCH STORM EVENT OVER PROPOSED INCREASE IN IMPERVIOUS SURFACES.
 PROPOSED IMPERVIOUS AREA INCREASE = 656 SQUARE FEET
 REQUIRED VOLUME TO RETAIN = 656 SF X (2/12) = 110 CUBIC FEET
 VOLUME OF RETENTION PROVIDED (RAIN GARDEN) = 118 CUBIC FEET
 • IMPORTED FILL STORAGE = 62 SF X 1.5 FT X 0.40 = 38 CUBIC FEET
 • ABOVE GROUND STORAGE = ((62 SF + 98 SF) / 2) X 1 FT = 80 CUBIC FEET



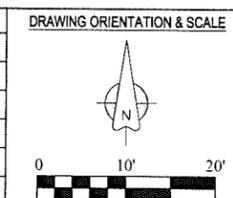
EXISTING HARDCOVER	
House	922 Sq. Ft.
Bit. Drive (North)	131 Sq. Ft.
Concrete Surfaces	411 Sq. Ft.
Patio	238 Sq. Ft.
TOTAL EXISTING HARDCOVER	1,702 Sq. Ft.
AREA OF LOT TO OHW	7,113 Sq. Ft.
PERCENTAGE OF HARDCOVER TO LOT	23.9%

PROPOSED ELEVATIONS	
FIRST FLOOR (SUB-FLOOR)	= 945.61
TOP OF FOUNDATION	= 944.43
BASEMENT FLOOR	= 936.43
GARAGE FLOOR	= 936.10

PROPOSED HARDCOVER	
House	1761 Sq. Ft.
Bit. Drive	202 Sq. Ft.
Walk	85 Sq. Ft.
Front Porch/Steps	72 Sq. Ft.
Existing Patio	238 Sq. Ft.
TOTAL PROPOSED HARDCOVER	2,358 Sq. Ft.
AREA OF LOT TO OHW	7,113 Sq. Ft.
PERCENTAGE OF HARDCOVER TO LOT	33.2%

LEGEND	
EXISTING CONTOUR	--- 935 ---
EXISTING SPOT ELEVATION	X 935.5
PROPOSED CONTOUR	— 935 —
PROPOSED SPOT ELEVATION	935.5
DRAINAGE ARROW - FLOW	⇒
SILT FENCE	— SF —
TREE REMOVAL	⊗ ⊗

DATE	REVISION DESCRIPTION
3-5-19	PER CLIENT COMMENTS
3-7-19	MOVED PROPOSED HOUSE
3-12-19	MOVED AC & UPDATED HARDCOVER



CLIENT NAME / JOB ADDRESS
HENDEL HOMES
 5130 MEADVILLE ST.
 GREENWOOD, MN

Advance
 Surveying & Engineering, Co.
 5300 South Hwy. No 101
 Minnetonka, Minnesota 55345
 Phone (952) 474-7964
 Web: www.advsur.com

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
John S. Rinke
 John S. Rinke
 # 52716
 LICENSE NO.
 FEBRUARY 25, 2019
 DATE

DATE SURVEYED: APRIL 11, 2016
 SURVEYED BY
 ADVANCED SURVEYING, & ENG., CO.
 DATE DRAFTED: FEBRUARY 25, 2019

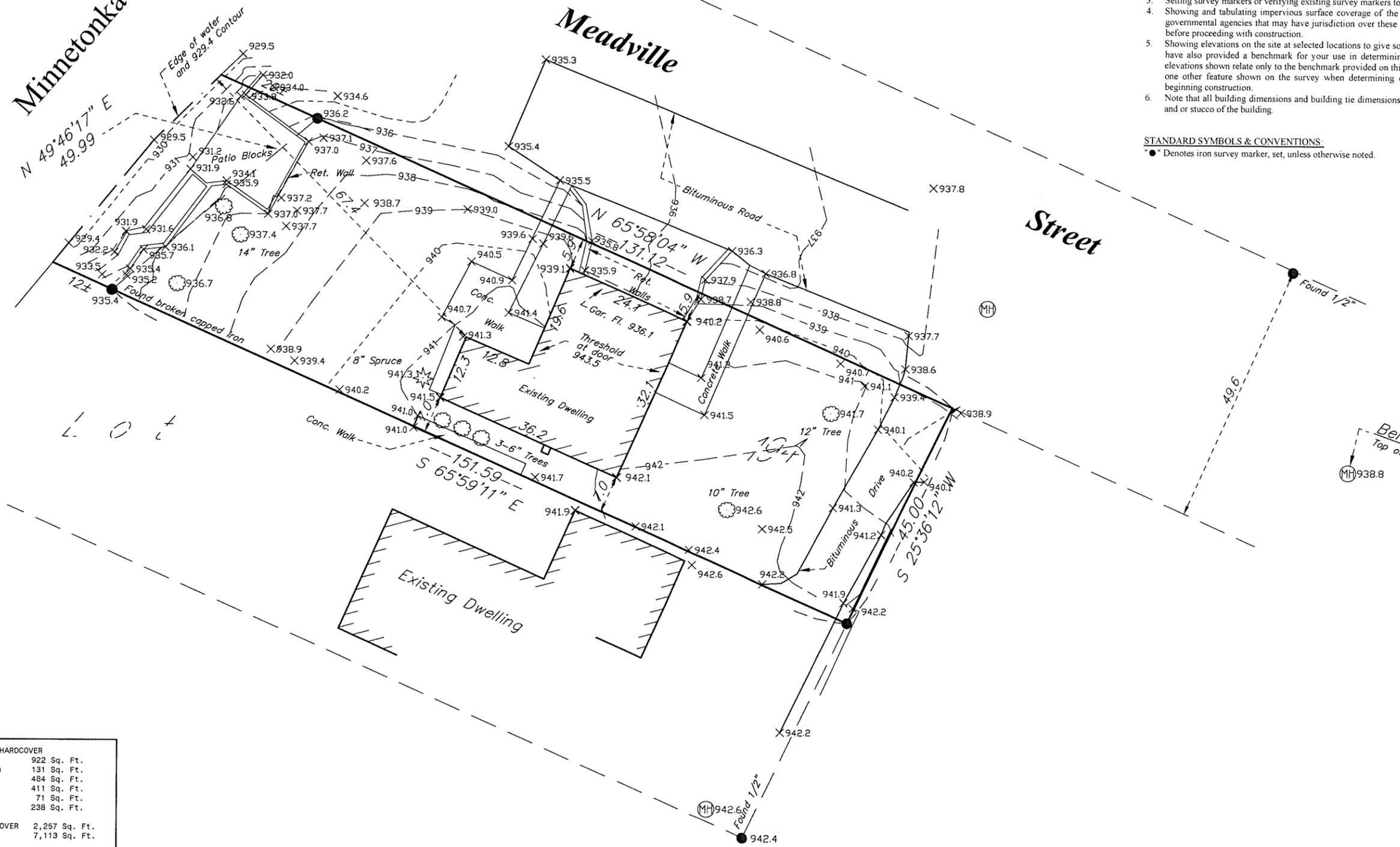
SHEET TITLE
PROPOSED SURVEY
 DRAWING NUMBER
190097 JR

SHEET NO.
S1
 SHEET 1 OF 1

Lake Minnetonka
N 49°46'17" E
49.99

Meadville

Street



LEGAL DESCRIPTION:
Northeasterly 1/2 Front and Rear of Lot 194, Auditor's Subdivision No. 141, Hennepin County, Minnesota.

SCOPE OF WORK & LIMITATIONS:

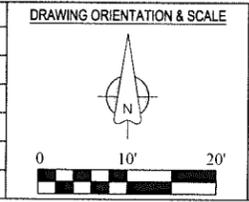
- Showing the length and direction of boundary lines of the legal description listed above. The scope of our services does not include determining what you own, which is a legal matter. Please check the legal description with your records or consult with competent legal counsel, if necessary, to make sure that it is correct and that any matters of record, such as easements, that you wish to be included on the survey have been shown.
- Showing the location of observed existing improvements we deem necessary for the survey.
- Setting survey markers or verifying existing survey markers to establish the corners of the property.
- Showing and tabulating impervious surface coverage of the lot for your review and for the review of such governmental agencies that may have jurisdiction over these requirements to verify they are correctly shown before proceeding with construction.
- Showing elevations on the site at selected locations to give some indication of the topography of the site. We have also provided a benchmark for your use in determining elevations for construction on this site. The elevations shown relate only to the benchmark provided on this survey. Use that benchmark and check at least one other feature shown on the survey when determining other elevations for use on this site or before beginning construction.
- Note that all building dimensions and building tie dimensions to the property lines, are taken from the siding and or stucco of the building.

STANDARD SYMBOLS & CONVENTIONS:
● Denotes iron survey marker, set, unless otherwise noted.

EXISTING HARDCOVER	
House	922 Sq. Ft.
Bit. Drive (North)	131 Sq. Ft.
Bit. Drive (East)	484 Sq. Ft.
Concrete Surfaces	411 Sq. Ft.
Ret. Walls	71 Sq. Ft.
Patio	238 Sq. Ft.
TOTAL EXISTING HARDCOVER	2,257 Sq. Ft.
AREA OF LOT TO OHW	7,113 Sq. Ft.
PERCENTAGE OF HARDCOVER TO LOT	31.7%

LEGEND	
	= CATCH BASIN
	= FIRE HYDRANT
	= POWER POLE
	= MANHOLE
	= TELEPHONE PED.
	= ELEC. TRANSFORMER
	= WELL
	= GATE VALVE
	= LIGHT POLE
	= FENCE LINE
	= SANITARY SEWER LINE
	= WATER LINE
	= GAS LINE
	= STORM DRAIN LINE
	= OVERHEAD UTILITY LINE

DATE	REVISION DESCRIPTION



CLIENT NAME / JOB ADDRESS

STONE ARCH LANDSCAPES

5130 MEADVILLE ST.
GREENWOOD, MN

Advance
Surveying & Engineering, Co.

5300 South Hwy. No 101
Minnetonka, Minnesota 55345
Phone (952) 474-7964
Web: www.advsur.com

I HEREBY CERTIFY THAT THIS PLAN, SURVEY OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

Thomas M. Bloom
Thomas M. Bloom
42379
LICENSE NO.
APRIL 11, 2016
DATE

DATE SURVEYED: APRIL 11, 2016

DATE DRAFTED: APRIL 11, 2016

SHEET TITLE
EXISTING CONDITIONS SURVEY

DRAWING NUMBER
160197 TB

SHEET NO.
S0

SHEET 1 OF 1



Agenda Number: 9B

Agenda Date: 07-07-20

Prepared by Deb Kind

Agenda Item: Discuss Minnehaha Creek Watershed District Capital Improvement Plan

Summary: Attached is a letter from the MCWD regarding their annually-revised CIP. If the council wishes to submit comments, the comments are due 07-29.20.

Council Action: No council action is required. Potential motions ...

1. I move the city council authorizes the mayor to send a letter on behalf of the city council that includes the following:
_____.
2. Do nothing or other motion ???



June 26, 2020

Re: Annual Review of Minnehaha Creek Watershed District Capital Improvement Plan

Dear City and County Partners,

As it does each year at this time, the Minnehaha Creek Watershed District (District) is distributing its annually-revised Capital Improvement Plan (CIP) for your review and comment. Your input on the draft CIP is valuable in helping to identify new opportunities to work together to improve water resources.

The District adopted its Watershed Management Plan (Plan), including its 2018-2027 CIP, in January 2018. The Plan describes the District's principle strategy of integrating water resource and land use planning, recognizing the potential for greater public benefit and efficient use of public funds when plans and investments are coordinated and aligned. The Plan outlines the District's two-pronged implementation approach of (1) focusing in areas of high need and opportunity to achieve significant measurable improvement, and (2) responding to resource needs and opportunities District-wide through projects, programming, and technical support.

This two-pronged approach is reflected in the 10-year CIP through the identification of specific projects in the current focal subwatersheds of Minnehaha Creek, Six Mile Creek-Halsted Bay, and Painter Creek, as well as the inclusion of "opportunity-based" projects in each subwatershed to allow the District to respond to land use change and partnership opportunities that arise during the plan cycle. The prioritization of these opportunity-based projects will be driven by (1) alignment with water resource needs and District goals, and (2) early and effective coordination from partners to collaboratively identify and evaluate opportunities. As specific project opportunities are identified and prioritized, they may be added to the District's CIP.

The District annually reviews and adjusts its 10-year CIP based on feasibility analysis of projects described in the Plan, identification of new project opportunities through coordination with land use planning, shifts in District priorities, and assessment of staff and financial capacity. The Plan has been updated from its 2018 form to provide more refined costs, funding sources, and schedule for projects that are currently in development.

The draft CIP is enclosed for your review. You are invited to submit comments on the draft CIP as well as suggestions for how the District can better integrate its water resource improvement efforts with land use planning in your community. Please submit comments to mhayman@minnehahacreek.org no later than July 29, 2020. Feel free to contact me with any comments, questions or ideas.

Sincerely,

A handwritten signature in blue ink, appearing to read "Michael Hayman". The signature is fluid and cursive, with a small flourish at the end.

Michael Hayman
MCWD Project Planning Manager

We collaborate with public and private partners to protect and improve land and water for current and future generations.

DRAFT Minnehaha Creek Watershed District 2018-2027 Capital Improvement Plan

Subwatershed	Capital Projects	Estimated Cost	Potential Funding Sources*	Proposed Implementation Year
Six Mile Creek-Halsted Bay	East Auburn Stormwater Enhancement Project	\$327,500	BWSR grant (\$262,520), City of Victoria (\$64,980)	2018
Minnehaha Creek	Arden Park Stream Restoration and Stormwater Management	\$3,696,322	MCWD levy, City of Edina (\$1,408,920), BWSR grant (\$125,000)	2018-2019
Minnehaha Creek	Minnehaha Creek FEMA Flood Damage Repairs	\$1,200,000	MCWD levy, FEMA grant (\$336,459)	2018-2019
Six Mile Creek-Halsted Bay	Wassermann West External Load Reduction and Landscape Restoration	\$2,204,160	City of Victoria (\$1,941,600), BWSR grant (\$93,879), MCWD levy	2019-2020
Minnehaha Creek	325 Blake Road Regional Stormwater and Greenway	\$3,871,500	MCWD levy, BWSR grants (\$495,000)	2019-2022
Minnehaha Creek	Cottageville Park Phase II Riparian Restoration	\$324,954	MCWD levy, partner contributions	2019-2022
Minnehaha Creek	Meadowbrook Golf Course Ecological Restoration	\$2,006,730	MCWD levy, partner contributions, grants	2021-2022
Minnehaha Creek	Greenway to Cedar Trail Connection and Streambank Restoration	\$510,000	MCWD levy, partner contributions, grants	2021-2022
Minnehaha Creek	Boone-Aquilla Floodplain	\$500,000	MCWD levy, partner contributions, grants	2021-2022
Six Mile Creek-Halsted Bay	Wassermann Internal Load Management	\$335,900	MCWD levy, BWSR grant (\$284,720)	2021-2023
Minnehaha Creek	Minnehaha Parkway Stormwater Management	\$1,400,000	MCWD levy, partner contributions, grants	2021-2023
Painter Creek	Stream Restoration	\$2,990,000	MCWD levy, partner contributions, grants	2021-2025
Painter Creek	Wetland Restoration	\$330,000	MCWD levy, partner contributions, grants	2021-2025
Six Mile Creek-Halsted Bay	Turbid-Lundsten Wetland Restoration	\$3,100,000	MCWD levy, partner contributions, grants	2021-2026
Six Mile Creek-Halsted Bay	Mud Lake Watershed Load Reductions	\$3,090,000	MCWD levy, partner contributions, grants	2021-2027
Six Mile Creek-Halsted Bay	Whole Lake Drawdown	\$770,000	MCWD levy, partner contributions, grants	2021-2027
Minnehaha Creek	West Blake Greenway Enhancement	\$420,000	MCWD levy, partner contributions, grants	2022-2023
Painter Creek	Potato Marsh Restoration	\$870,000	MCWD levy, USACE Section 206, partner contributions, grants	2022-2023
Minnehaha Creek	Meadowbrook Greenway Expansion	\$950,000	MCWD levy, partner contributions, grants	2022-2023
Six Mile Creek-Halsted Bay	East Auburn Wetland Restoration	\$990,000	MCWD levy, partner contributions, grants	2022-2023
Six Mile Creek-Halsted Bay	Pierson Lake Headwaters Restoration	\$320,000	MCWD levy, partner contributions, grants	2022-2023
Painter Creek	South Katrina Marsh Restoration	\$1,270,000	MCWD levy, USACE Section 206, partner contributions, grants	2022-2023
Six Mile Creek-Halsted Bay	Internal Load Management	\$980,000	MCWD levy, partner contributions, grants	2022-2027
Painter Creek	SOBI Marsh Restoration	\$240,000	MCWD levy, USACE Section 206, partner contributions, grants	2023-2024
Minnehaha Creek	Hiawatha Golf Course Restoration	\$1,940,000	MCWD levy, partner contributions, grants	2023-2024
Painter Creek	Upper and Lower Painter Marsh Restoration	\$2,800,000	MCWD levy, USACE Section 206, partner contributions, grants	2023-2024
Six Mile Creek-Halsted Bay	Halsted Bay Watershed Load Management	\$13,050,000	MCWD levy, partner contributions, grants	2023-2026
Lake Minnetonka	Halsted Bay Internal Phosphorus Load Reduction	\$1,400,000	MCWD levy, partner contributions, grants	2025-2027
Christmas Lake	Stormwater Volume and Pollutant Load Reduction	\$200,000	MCWD levy, partner contributions, grants	Opportunity-based
Dutch Lake	Stormwater Volume and Pollutant Load Reduction	\$780,000	MCWD levy, partner contributions, grants	Opportunity-based
Gleason Lake	Stormwater Volume and Pollutant Load Reduction	\$600,000	MCWD levy, partner contributions, grants	Opportunity-based
Lake Minnetonka	Stormwater Volume and Pollutant Load Reduction	\$1,000,000	MCWD levy, partner contributions, grants	Opportunity-based
Lake Virginia	Stormwater Volume and Pollutant Load Reduction	\$650,000	MCWD levy, partner contributions, grants	Opportunity-based
Langdon Lake	Stormwater Volume and Pollutant Load Reduction	\$230,000	MCWD levy, partner contributions, grants	Opportunity-based
Long Lake Creek	Stormwater Volume and Pollutant Load Reduction	\$1,320,000	MCWD levy, partner contributions, grants	Opportunity-based
Minnehaha Creek	Channel/Streambank Restoration	\$3,120,000	MCWD levy, partner contributions, grants	Opportunity-based
Minnehaha Creek	Stormwater Volume and Pollutant Load Reduction	\$2,450,000	MCWD levy, partner contributions, grants	Opportunity-based
Painter Creek	Stormwater Volume and Pollutant Load Reduction	\$980,000	MCWD levy, partner contributions, grants	Opportunity-based
Schutz Lake	Stormwater Volume and Pollutant Load Reduction	\$250,000	MCWD levy, partner contributions, grants	Opportunity-based
Six Mile Creek-Halsted Bay	Stormwater Volume and Pollutant Load Reduction	\$2,000,000	MCWD levy, partner contributions, grants	Opportunity-based
Six Mile Creek-Halsted Bay	Stream Restoration	\$870,000	MCWD levy, partner contributions, grants	Opportunity-based
Six Mile Creek-Halsted Bay	Wetland Restoration	\$3,000,000	MCWD levy, partner contributions, grants	Opportunity-based

*Includes specific amounts where funding sources are known.



Agenda Number: 12

Agenda Date: 07-07-20

Prepared by Deb Kind

Agenda Item: Closed Session with City Attorney Bob Vose to Discuss Land Title Application for Registration of Land, Excelsior Entertainment, LLC

Summary: The city council received a Land Title Application for Registration of Land from Excelsior Entertainment, LLC.

Council Action: The city council must take action to convene and close the closed session. Suggested motions ...

1. I move the city council convenes a Closed Session pursuant to Minn. Stat. 13D.05 Subd. 3(b) for Attorney-Client Privilege to discuss a Land Title Application for Registration of Land from Excelsior Entertainment, LLC.
2. I move the city council closes the Closed Session.

13D.05 Subd. 3(b) is for closed meetings for attorney-client privilege. 13D.05 Subd. 1(d) All closed meetings, except those closed as permitted by the attorney-client privilege, must be electronically recorded.



Agenda Number: **FYI**

Agenda Item: FYI Items in Council Packet

Summary: The attached items are included in the council packet for the council's information (FYI) only. FYI items typically include planning commission minutes and other items of interest to the council. When the agenda is approved at the beginning of the meeting, any council member may request to move an FYI item to the regular agenda for further discussion. Moved items will be placed under Other Business on the agenda.

Council Action: No council action is needed for FYI items.

MUNICIPAL CONSTRUCTION and DEVELOPMENT FEE REVENUE and EXPENSES ANNUAL REPORT

Reporting Period Ending December 31, 2019, as required by Minnesota Statute 326B.145

I. Municipality

Municipality Greenwood	County Hennepin	Telephone No. (include area code) 952-358-9939
Address 20225 Cottagewood Road	City, State, ZIP Deephaven, MN 55331	

II. Building Inspection Permits

	TYPE OF PERMIT	Number of Permits	Number of Units	Valuation
1.	New Single-Family Dwelling	3	3	\$1,784,912
2.	New Multi-Family Dwelling	0	0	\$0
3.	New Commercial / Industrial / Institutional	0	N/A	\$0
4.	Addition / Alteration	37	N/A	\$2,221,543
5.	Other	92	N/A	\$713,019

III. Fee Revenue And Expenses Associated With Building Permits And Inspections

FEE REVENUE			EXPENSES		
6.	Permit Fees	\$32,358	10.	Building Inspection Expenses	\$51,719
7.	Plan Review Fees	\$15,342			
8.	Other Fees	\$12,628			
9.	TOTAL FEE REVENUE	\$ 60,328			

IV. Fee Revenue And Expenses Associated With Development

FEE REVENUE			EXPENSES		
11.	Administrative Fees	\$0	16.	Administrative Expenses	\$0
12.	Engineering Fees	\$0	17.	Engineering Expenses	\$0
13.	Planning and Zoning Fees	\$12,300	18.	Planning and Zoning Expenses	\$7,902
14.	Other Fees	\$0	19.	Other Expenses	\$0
15.	TOTAL FEE REVENUE	\$12,300	20.	TOTAL EXPENSES	\$7,902

V. Fee Revenue And Capital Expenditures Associated With Development-Related Infrastructure

FEE REVENUE			CAPITAL EXPENDITURES		
21.	Infrastructure Fees	\$0	25.	Infrastructure Expenditures	\$0
	Cash				
	Land				
22.	Park Dedication Fees	\$11,731	26.	Park Expenditures	\$0
23.	Other Fees	\$0	27.	Other Expenditures	\$0
24.	TOTAL FEE REVENUE	\$11,731	28.	TOTAL CAPITAL EXPENDITURES	\$0

CERTIFICATION: I hereby certify the information contained herein to be an accurate representation of fees collected and expenses incurred.

Name/Title of Official Completing Form Dana H. Young / City Clerk	Telephone No. (include area code) 952-358-9939	Date: June 26, 2020
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MUNICIPAL CONSTRUCTION and DEVELOPMENT FEE REVENUE and EXPENSES ANNUAL REPORT

Reporting Period Ending December 31, 2019, as required by Minnesota Statute 326B.145

I. Municipality

Municipality Greenwood	County	Telephone No. (include area code)
Address	City, State, ZIP	

II. Building Inspection Permits

	TYPE OF PERMIT	Number of Permits	Number of Units	Valuation
1.	New Single-Family Dwelling	3 0	3 0	1,784,912 \$0
2.	New Multi-Family Dwelling	0	0	\$0
3.	New Commercial / Industrial / Institutional	0	N/A	\$0
4.	Addition / Alteration	37 0	N/A	2,221,543 \$0
5.	Other	92 0	N/A	713,019 \$0

III. Fee Revenue And Expenses Associated With Building Permits And Inspections

FEE REVENUE			EXPENSES		
6.	Permit Fees	32,358 \$0	10.	Building Inspection Expenses	51,719 \$0
7.	Plan Review Fees	15,342 \$0			
8.	Other Fees	12,628 \$0			
9.	TOTAL FEE REVENUE	60,328 \$ 0			

IV. Fee Revenue And Expenses Associated With Development

FEE REVENUE			EXPENSES		
11.	Administrative Fees	\$0	16.	Administrative Expenses	\$0
12.	Engineering Fees	\$0	17.	Engineering Expenses	\$0
13.	Planning and Zoning Fees	12,300 \$0	18.	Planning and Zoning Expenses	7,902 \$0
14.	Other Fees	\$0	19.	Other Expenses	\$0
15.	TOTAL FEE REVENUE	12,300 \$ 0	20.	TOTAL EXPENSES	7,902 \$ 0

V. Fee Revenue And Capital Expenditures Associated With Development-Related Infrastructure

FEE REVENUE			CAPITAL EXPENDITURES		
21.	Infrastructure Fees	\$0	25.	Infrastructure Expenditures	\$0
		Cash Land			
22.	Park Dedication Fees	11,731 \$0	26.	Park Expenditures	\$0
23.	Other Fees	\$0	27.	Other Expenditures	\$0
24.	TOTAL FEE REVENUE	11,731 \$ 0	28.	TOTAL CAPITAL EXPENDITURES	\$ 0

CERTIFICATION: I hereby certify the information contained herein to be an accurate representation of fees collected and expenses incurred.

Name/Title of Official Completing Form	Telephone No. (include area code)	Date:
--	-----------------------------------	-------

Greenwood

	<u>Apr</u>	<u>July</u>	<u>Oct</u>	<u>Dec</u>
<u>Permits</u>				
S.F. Homes	1	1	1	0
M.F. Homes	0	0	0	0
Commercial	0	0	0	0
Additions	7	14	8	8
P/M/E	<u>22</u>	<u>20</u>	<u>22</u>	<u>28</u>
	30	35	31	36

<u>Valuation</u>				
S.F. Homes	646,212	538,700	600,000	0
Additions	172,022	357,496	1,366,114	325,911
P/M/E	<u>206,030</u>	<u>93,003</u>	<u>171,683</u>	<u>242,304</u>
	1,024,264	989,199	2,137,796	568,215

<u>Revenues</u>				
Permit Fees	6,466	8,549	13,502	3,841
Plan Review	3,552	2,839	7,408	1,543
P/M/E	3,451	1,806	3,218	3,913
Other	<u>45</u>	<u>95</u>	<u>60</u>	<u>40</u>
	13,514	13,289	24,188	9,337

III. Revenue & Expenses Associated w/ Bldg Permits & Inspections

Bldg Inspection Expenditures

Mika Bldg Inspector -	Paid by Deephaven
Deephaven's share of Permit Revenue.	41,625.49
Deephaven Rent & Equipment -	5,849.40
Engineering Fees	<u>4,244.00</u>
	51,718.89

IV. Fee Revenues & Expenses Associated w/ Development

13. Zoning Fees -	12,300.00
18. Data's monthly charges -	6,540.16
18. Public Notices.	1,341.41

V. Revenue & Capital Expenditures Associated w/ Development-Related Infrastructure

22. Park Dedication Fee -	11,731
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